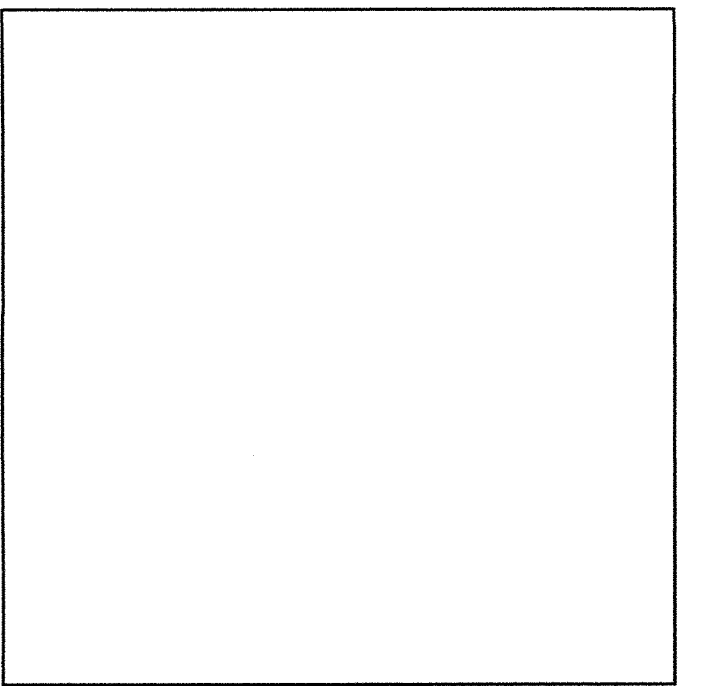


# Definitive Subdivision Plan of *TWIN PEAK SUMMIT*

## Miller Street Ludlow, MA

Map 26 Parcels 36A-1, 36B, 36C & Map 25 Parcel 24



FOR REGISTRY USE

APPROVED  
LUDLOW PLANNING BOARD  
DATE: \_\_\_\_\_

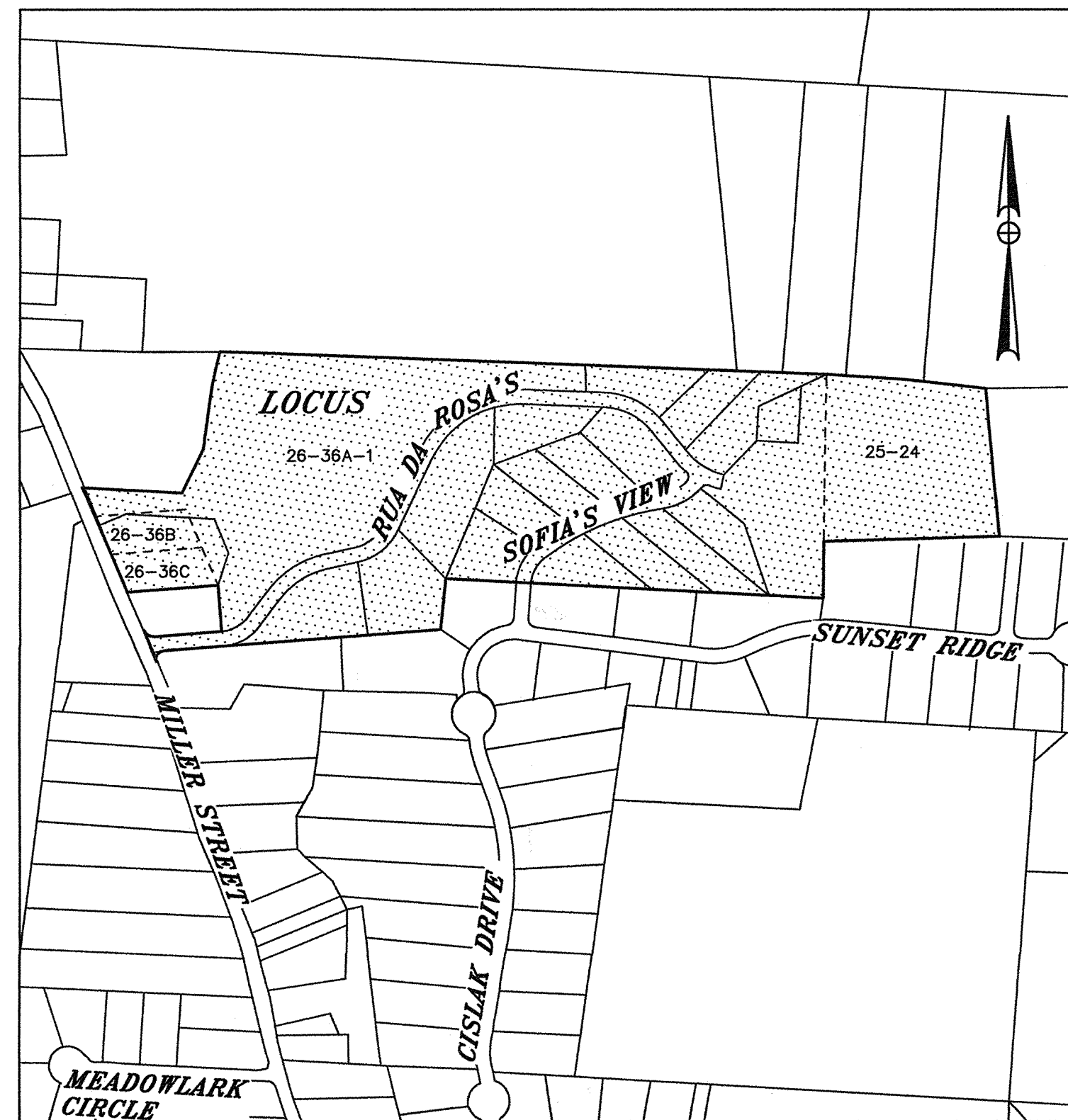
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

I CERTIFY THAT NO APPEAL HAS BEEN FILED DURING THE TWENTY DAY APPEAL PERIOD FOR THIS PLAN. DATE: \_\_\_\_\_

\_\_\_\_\_  
LUDLOW TOWN CLERK

**NOTES:**

1. LOCUS DEED REFERENCE: BOOK 20013 PAGE 266, BOOK 22180 PAGE 352
2. LOCUS PLAN REFERENCE: PLAN BK. 211, PGS 42, 43, PLAN BK. 380 PG. 84
3. ASSESSOR MAP REFERENCE: MAP 26, PARCELS 36A-1, 36B, 36C & MAP 25 PARCEL 24.
4. EXISTING TOPOGRAPHY, ESTABLISH BY CONVENTIONAL SURVEY ON MARCH 14-16, 19, 23, 28 & APRIL 3 & 9, 2018 BY THIS OFFICE. HORIZONTAL DATUM IS NAD 83. VERTICAL DATUM IS NAVD 88. BOTH DATUMS ESTABLISHED AT THIS SITE BY GPS METHODS.
5. LAND IS ZONED AGRICULTURE  
MIN. LOT SIZE 40,000 SQ. FT.  
MIN. FRONTAGE 140 FT.  
MIN. FRONT YARD 40 FT.  
MIN. SIDE YARD 20 FT.  
MIN. REAR YARD 40 FT.
6. WETLAND LIMITS SHOWN DELINEATED BY PETER LEVESQUE, JANUARY 24, 2018, LOCATED BY THIS OFFICE. THE SOIL CLASSIFICATION AND FLOOD ZONES ARE BASED ON MASS-GIS INFORMATION.
7. TO THE BEST OF OUR KNOWLEDGE RUA DA ROSA'S AND SOFIA'S VIEW LAYOUT IS IN COMPLIANCE WITH THE LUDLOW SUBDIVISION RULES AND REGULATIONS BASED ON REQUESTED WAIVERS.
8. RUA DA ROSA'S AND SOFIA'S VIEW DOES DO NOT LIE WITHIN THE AIRCRAFT FLIGHT OVERLAY DISTRICT.
9. LAND IS NOT LOCATED WITHIN THE FLOODPLAIN OVERLAY DISTRICT.
10. TOTAL ROADWAY AREA OF ROSA'S WAY AND SOFIA'S VIEW IS 157,762 SQUARE FEET OR 3.622 ACRES.



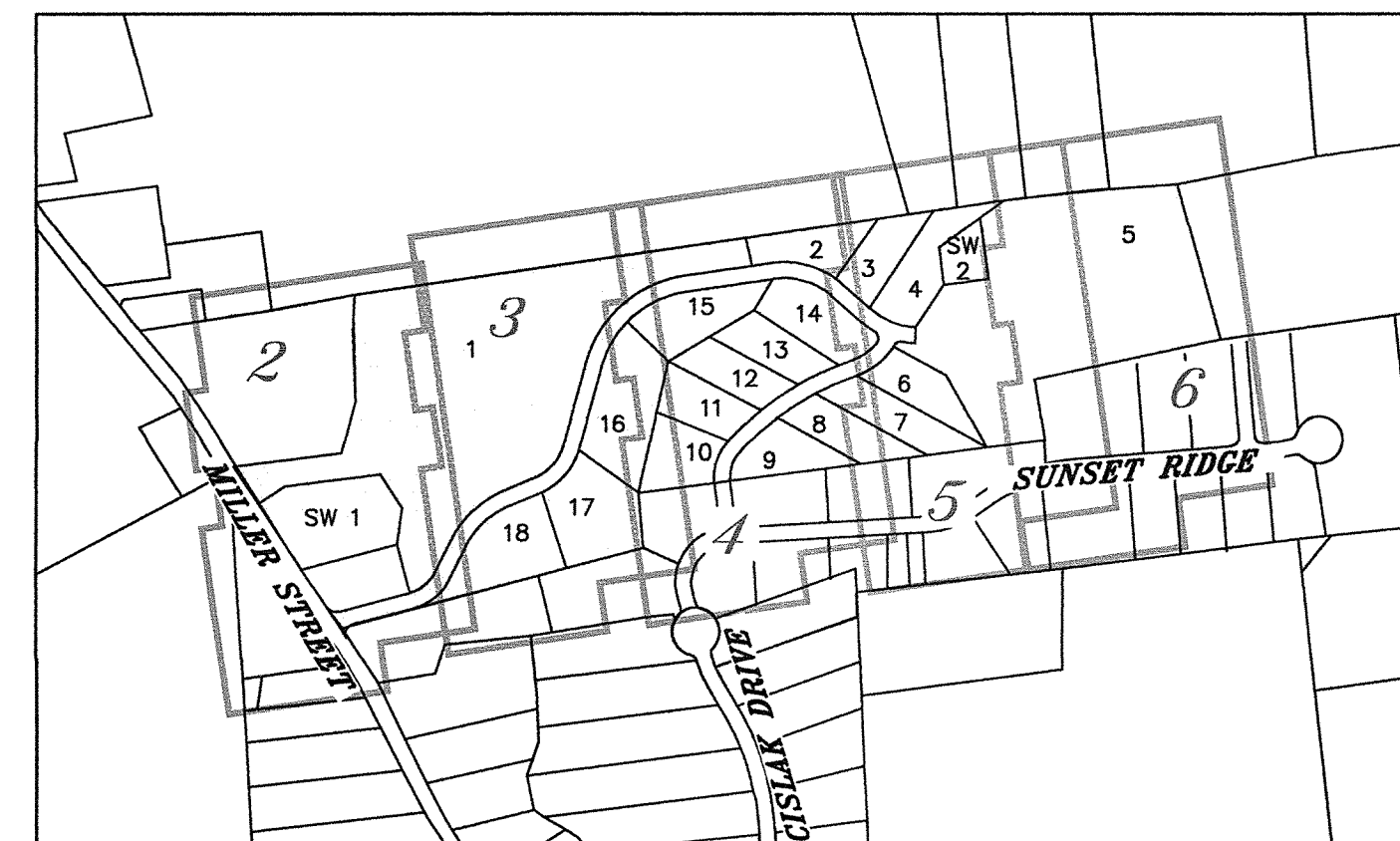
**LOCUS**  
SCALE: 1"=600'

**APPLICANT & OWNER**  
**DANIEL'S GRAVEL BANK, LLC**  
466 MILLER STREET  
LUDLOW, MA 01056

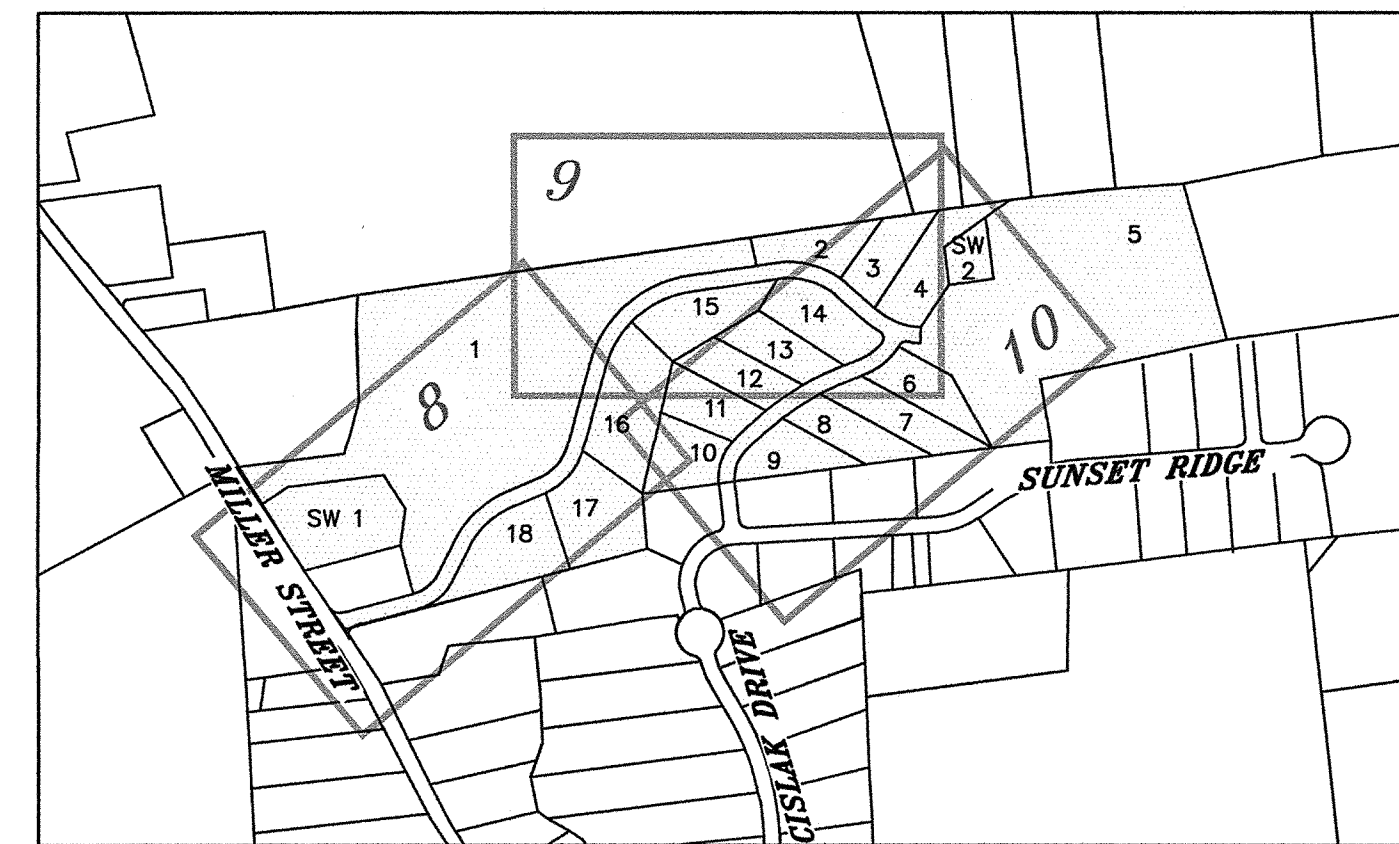
**SURVEYOR/ENGINEERS**  
**SHERMAN & FRYDRYK**  
3 CONVERSE STREET, SUITE 203  
PALMER, MA 01069-1596  
TEL: (413) 283-6210

**INDEX OF SHEETS**

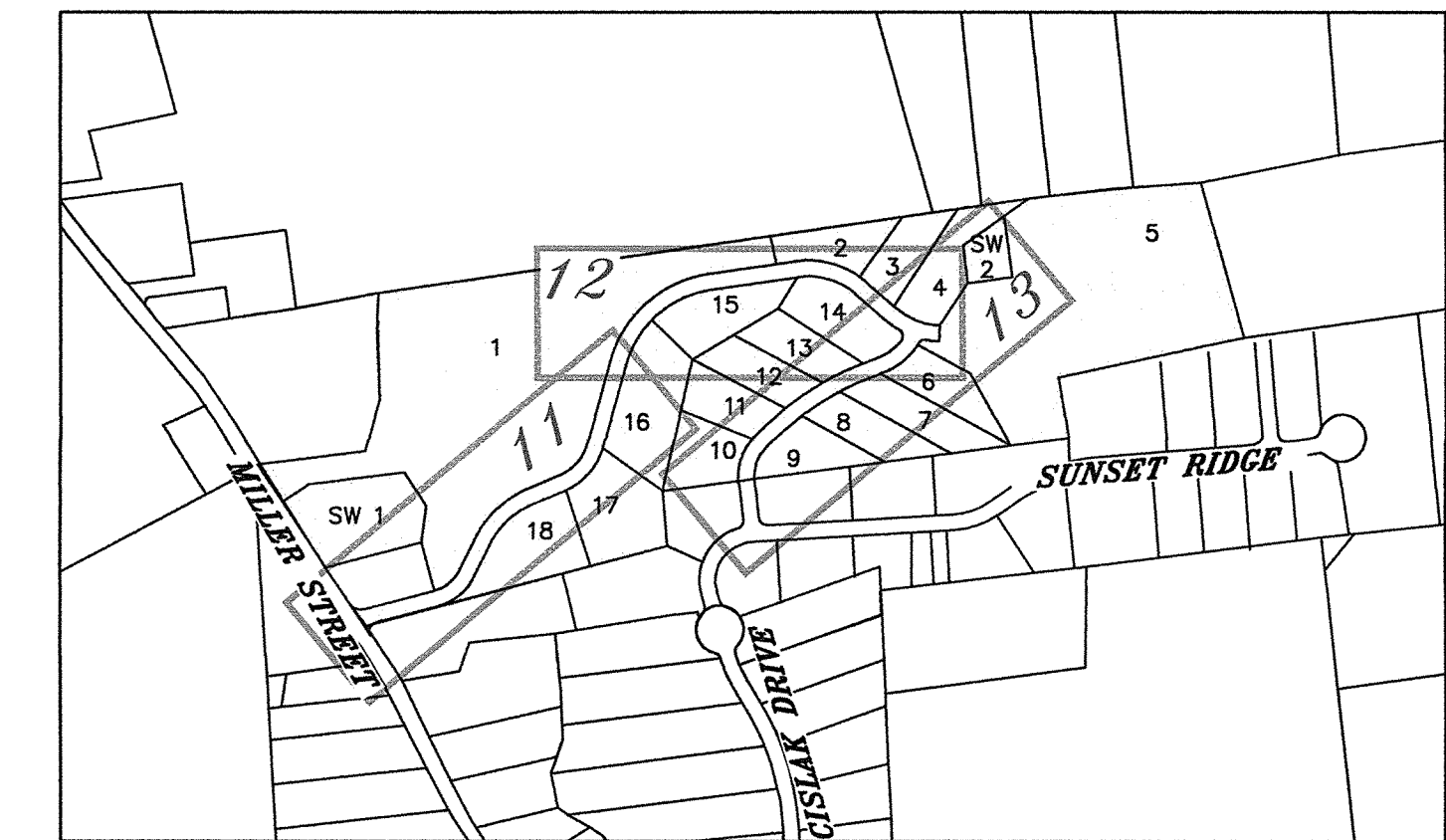
PAGE	TITLE
1	COVER & INDEX SHEET
2-6	PROPERTY LINE PLANS
7	EXISTING CONDITIONS & ABUTTER PLAN
8-10	GRADING PLANS
11-13	PLAN & PROFILE
14-16	EROSION CONTROL PLANS
17-21	DETAILS



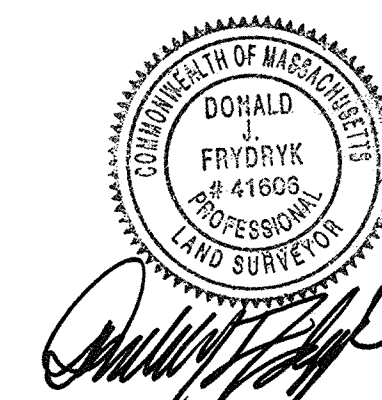
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**GRADING SHEET INDEX**  
SCALE: 1"=600'



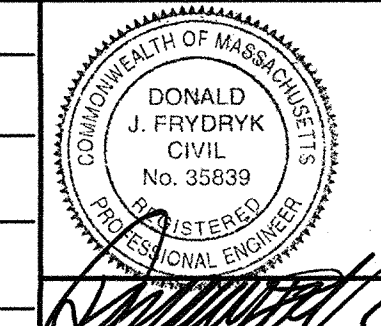
**PLAN & PROFILE SHEET INDEX**  
SCALE: 1"=600'



NO.	DATE	BY	REVISIONS

**SHERMAN & FRYDRYK, LLC**  
*Land Surveying and Engineering*  
3 Converse Street, Suite 203  
Palmer, MA 01069

DESIGN: KTT, GAB  
DRAFTING: KTT, GAB  
CHECKED: KTT  
APPROVED: DJF

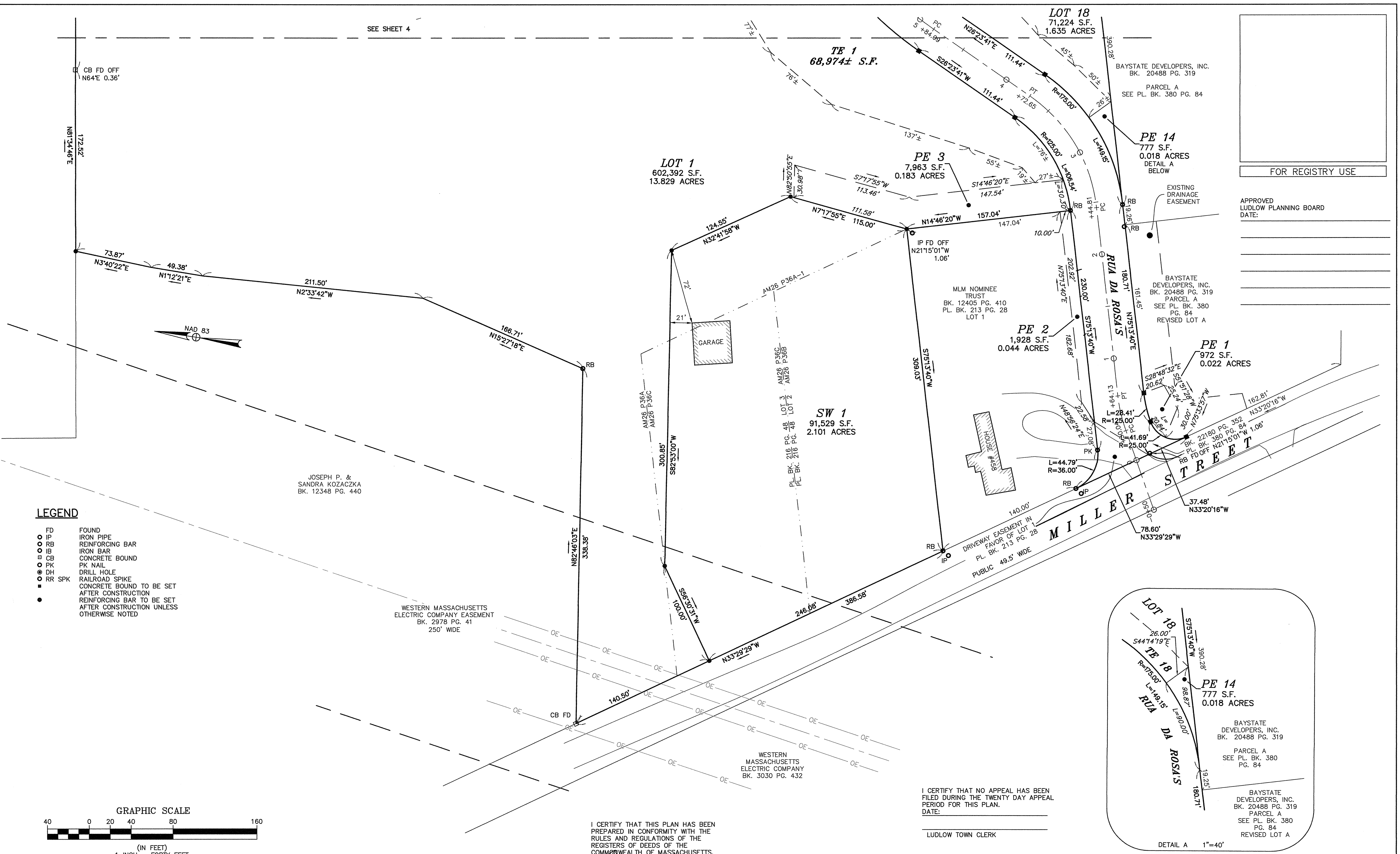


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HOR: AS SHOWN  
VERT: N/A  
DATE: 12/14/20

**COVER & INDEX SHEET**

**TWIN PEAK SUMMIT  
DEFINITIVE SUBDIVISION PLAN  
MILLER STREET  
LUDLOW, MA**

**PROJECT NUMBER**  
05280B  
**SHEET NUMBER**  
**1 OF 21**  
A.K.A. 1 OF 6

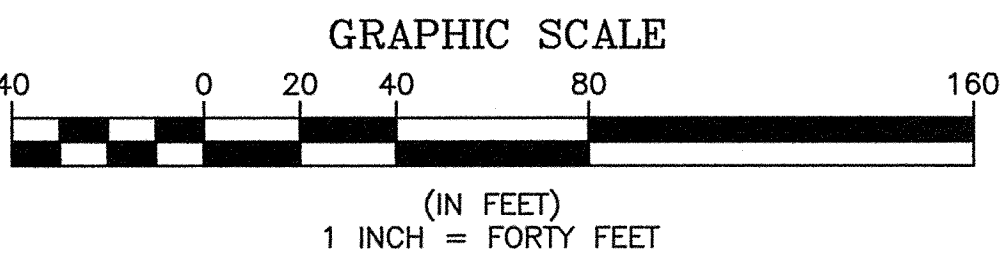


FOR REGISTRY USE

APPROVED  
LUDLOW PLANNING BOARD  
DATE:

LEGEND

- FD FOUND
- IP IRON PIPE
- RB REINFORCING BAR
- IB IRON BAR
- CB CONCRETE BOUND
- PK PK NAIL
- DH DRILL HOLE
- RR SPK RAILROAD SPIKE
- CONCRETE BOUND TO BE SET AFTER CONSTRUCTION
- REINFORCING BAR TO BE SET AFTER CONSTRUCTION UNLESS OTHERWISE NOTED



I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE: 2/17/2021

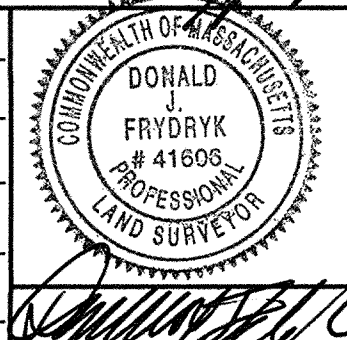
*[Signature]*

I CERTIFY THAT NO APPEAL HAS BEEN FILED DURING THE TWENTY DAY APPEAL PERIOD FOR THIS PLAN.  
DATE:  
LUDLOW TOWN CLERK

NO.	DATE	BY	REVISIONS

**SHERMAN & FRYDRYK, LLC**  
*Land Surveying and Engineering*  
3 Converse Street, Suite 203  
Palmer, MA 01069

FIELD WORK: JGG/KRP  
COMPS: KJM  
DRAFTING: KJM  
CHECKED: TRF  
APPROVED: DJF



SCALE:  
HORZ: 1"=40'  
VERT: N/A  
DATE: 12/14/2020

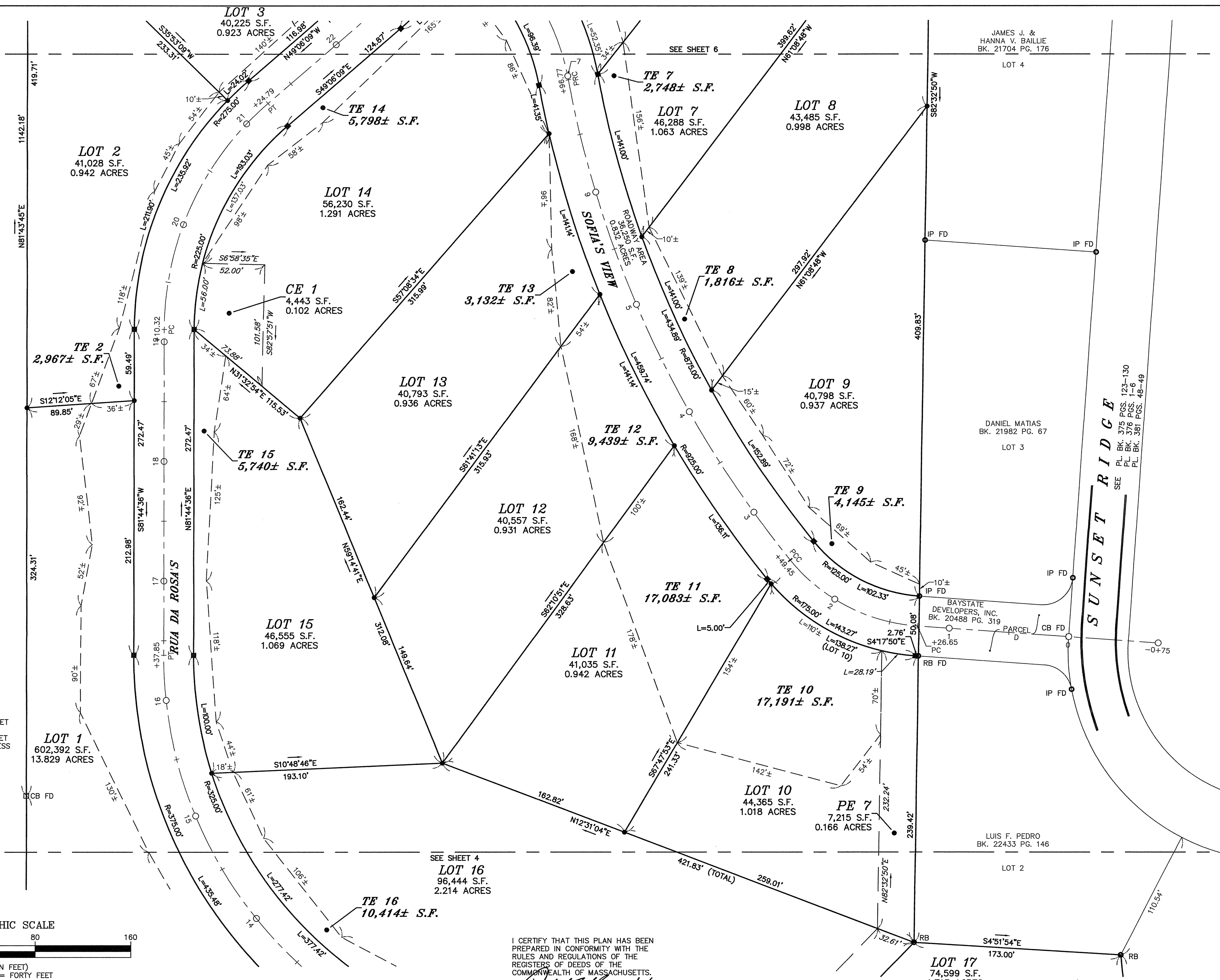
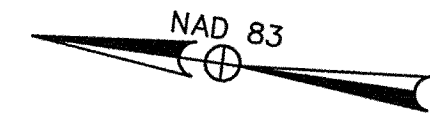
**DEFINITIVE SUBDIVISION PLAN**  
**"TWIN PEAK SUMMIT"**  
**PROPERTY LINE PLAN**

PLAN OF LAND IN  
**LUDLOW, MA**  
PREPARED FOR (OWNER)  
**DANIEL'S GRAVEL BANK, LLC**

PROJECT NUMBER  
05280B  
SHEET NUMBER  
**2 OF 21**  
A.K.A. 2 OF 6







FOR REGISTRY USE

APPROVED LUDLOW PLANNING BOARD DATE:

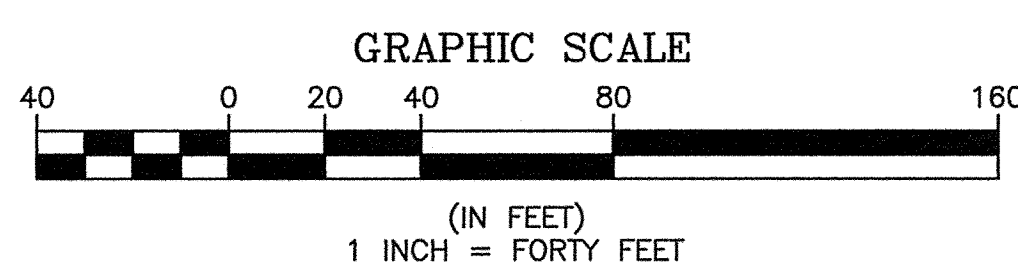
I CERTIFY THAT NO APPEAL HAS BEEN FILED DURING THE TWENTY DAY APPEAL PERIOD FOR THIS PLAN. DATE:

LUDLOW TOWN CLERK

LEGEND

- FD FOUND
IP IRON PIPE
RB REINFORCING BAR
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PK PK NAIL
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CONCRETE BOUND TO BE SET AFTER CONSTRUCTION
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JULIAN POPKO LAND COURT DOC. #15901 PLAN # 34934A



I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

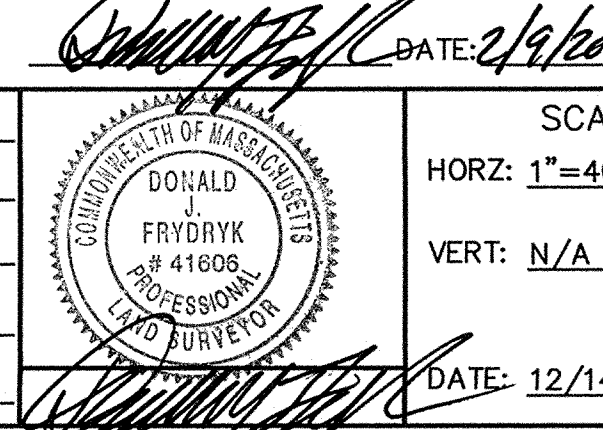


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SHERMAN & FRYDRYK, LLC Land Surveying and Engineering 3 Converse Street, Suite 203 Palmer, MA 01069

FIELD WORK: JGG/KRP
COMPS: KJM
DRAFTING: KJM
CHECKED: TRF
APPROVED: DJF

SCALE: HORZ: 1"=40' VERT: N/A DATE: 12/14/2020

DEFINITIVE SUBDIVISION PALN "TWIN PEAK SUMMIT" PROPERTY LINE PLAN

PLAN OF LAND IN LUDLOW, MA PREPARED FOR (OWNER) DANIEL'S GRAVEL BANK, LLC

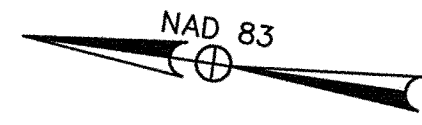
PROJECT NUMBER 05280B SHEET NUMBER 4 OF 21 A.K.A. 4 OF 6



SEE SHEET 7

BAYSTATE DEVELOPERS, INC.  
BK. 20488 PG. 319  
PL BK. 381 PGS. 48-49  
PL BK. 363 PG. 25

THOMAS W. &  
KIMBERLY M. LAWLER  
BK. 11320 PG. 491



FOR REGISTRY USE

APPROVED  
LUDLOW PLANNING BOARD  
DATE:

I CERTIFY THAT NO APPEAL HAS BEEN  
FILED DURING THE TWENTY DAY APPEAL  
PERIOD FOR THIS PLAN.  
DATE:

LUDLOW TOWN CLERK

AMERICO J. &  
CECILIA A. SOUSA  
BK. 17091 PG. 553

THOMAS W. &  
KIMBERLY M. LAWLER  
BK. 11320 PG. 491

JULIAN POPKO  
LAND COURT  
DOC. #15901  
PLAN # 34934A

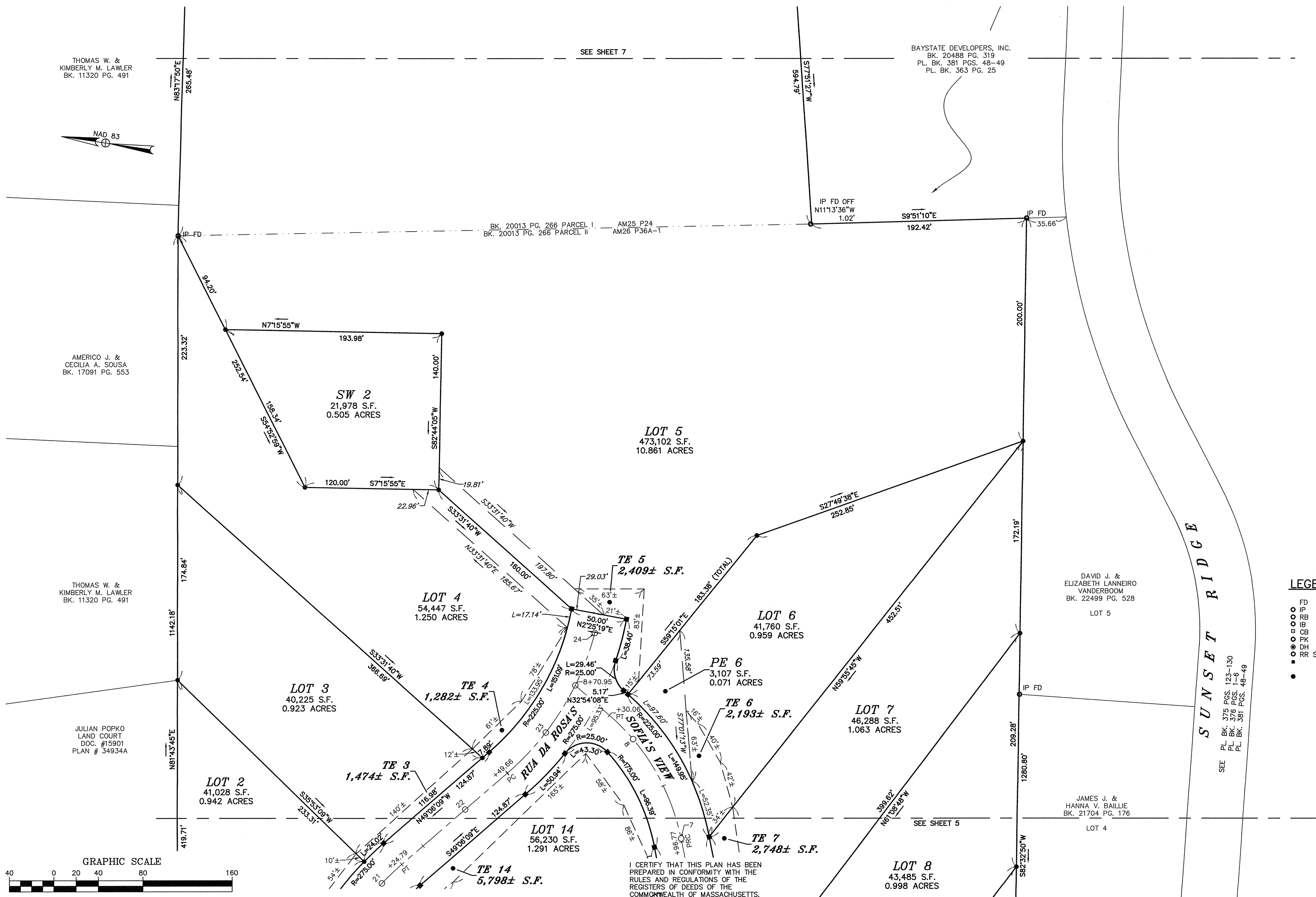
DAVID J. &  
ELIZABETH LANNEIRO  
VANDERBOOM  
BK. 22499 PG. 528  
LOT 5

JAMES J. &  
HANNA V. BAILLIE  
BK. 21704 PG. 176  
LOT 4

LEGEND

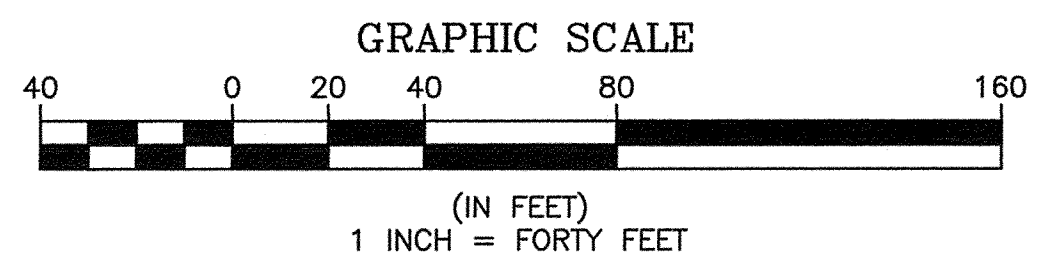
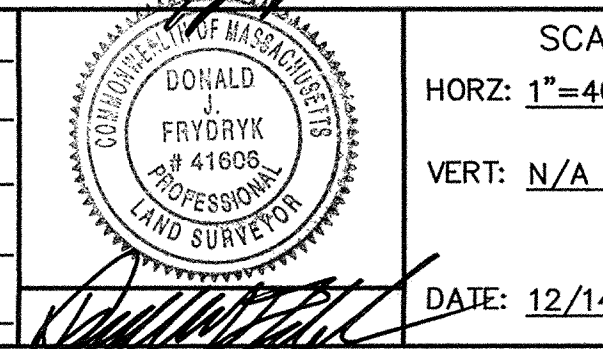
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- IP IRON PIPE
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- RR RAILROAD SPIKE
- RR SPK CONCRETE BOUND TO BE SET AFTER CONSTRUCTION
- REINFORCING BAR TO BE SET AFTER CONSTRUCTION UNLESS OTHERWISE NOTED

SEE  
PL BK. 375 PGS. 123-130  
PL BK. 376 PGS. 1-6  
PL BK. 381 PGS. 48-49



I CERTIFY THAT THIS PLAN HAS BEEN  
PREPARED IN CONFORMITY WITH THE  
RULES AND REGULATIONS OF THE  
REGISTERS OF DEEDS OF THE  
COMMONWEALTH OF MASSACHUSETTS.

DATE: 12/14/2020



NO.	DATE	BY	REVISIONS

**SHERMAN & FRYDRYK, LLC**  
Land Surveying and Engineering  
3 Converse Street, Suite 203  
Palmer, MA 01069

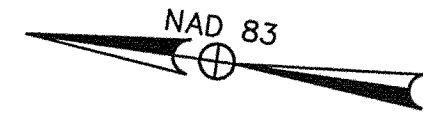
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COMPS: KJM  
DRAFTING: KJM  
CHECKED: TRF  
APPROVED: DJF

SCALE:  
HORZ: 1"=40'  
VERT: N/A  
DATE: 12/14/2020

**DEFINITIVE SUBDIVISION PLAN**  
**"TWIN PEAK SUMMIT"**  
**PROPERTY LINE PLAN**

PLAN OF LAND IN  
**LUDLOW, MA**  
PREPARED FOR (OWNER)  
**DANIEL'S GRAVEL BANK, LLC**

PROJECT NUMBER  
05280B  
SHEET NUMBER  
**5 OF 21**  
A.K.A. 5 OF 6



RAYMOND HULUCH &  
JOANNE M. MARTINS  
BK. 13929 PG. 384

JOANNE MARTINS  
BK. 18533 PG. 98

PILE OF STONES

S15°29'20"E  
504.01'

N86°00'11"E  
276.56'

PILE OF STONES

**LOT 5**  
473,102 S.F.  
10.861 ACRES

THOMAS W. &  
KIMBERLY M. LAWLER  
BK. 11320 PG. 491

N63°17'50"E  
265.48'

SEE SHEET 6

S77°51'27"W  
594.79'

BAYSTATE DEVELOPERS, INC.  
BK. 20488 PG. 319  
PL. BK. 381 PGS. 48-49  
PL. BK. 363 PG. 25

**SUNSET RIDGE**  
SEE  
PL. BK. 375 PGS. 123-130  
PL. BK. 376 PGS. 1-6  
PL. BK. 381 PGS. 48-49

RB FD

RB FD

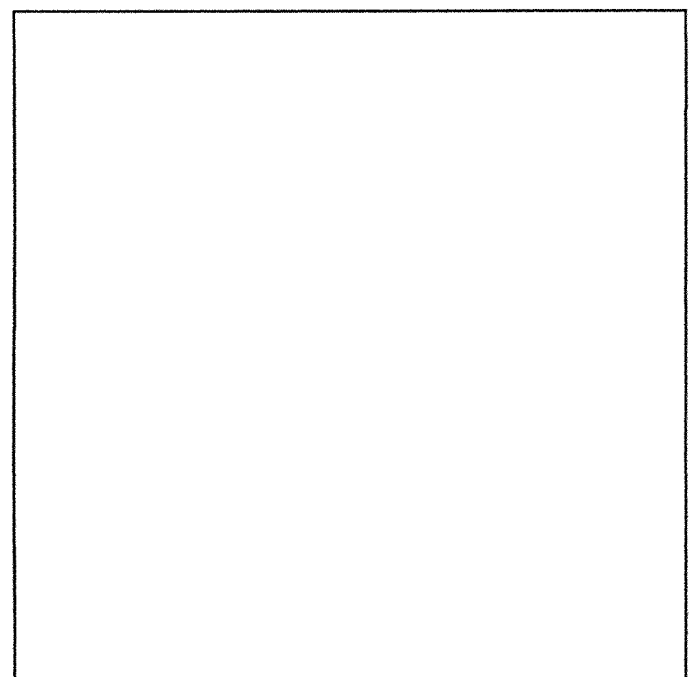
IP FD OFF  
N11°13'36"W  
1.02'

S9°51'10"E  
192.42'

IP FD

35.66'

BK. 20013 PG. 266 PARCEL I AM25 P24  
BK. 20013 PG. 266 PARCEL II AM26 P36A-1



FOR REGISTRY USE

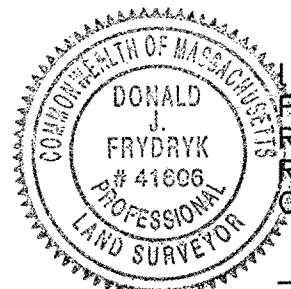
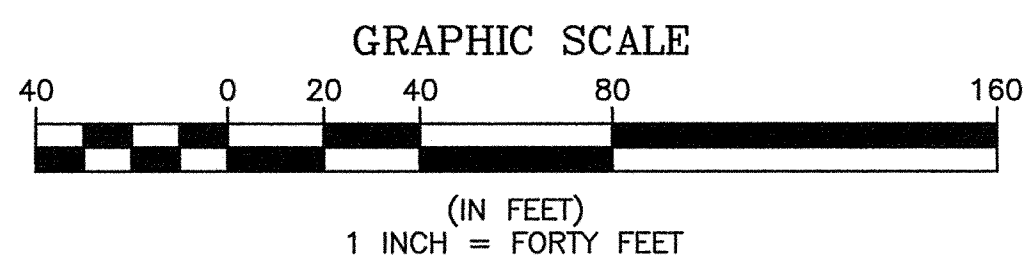
APPROVED  
LUDLOW PLANNING BOARD  
DATE:

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PERIOD FOR THIS PLAN.  
DATE:

LUDLOW TOWN CLERK

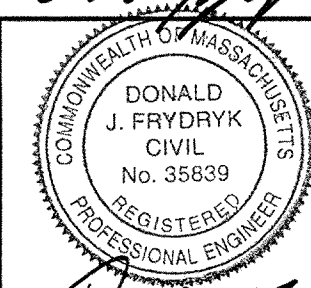
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- FD FOUND
- IP IRON PIPE
- RB REINFORCING BAR
- IB IRON BAR
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CERTIFY THAT THIS PLAN HAS BEEN  
PREPARED IN CONFORMITY WITH THE  
RULES AND REGULATIONS OF THE  
REGISTERS OF DEEDS OF THE  
COMMONWEALTH OF MASSACHUSETTS.

*Donald J. Frydryk* DATE: 2/14/2021



SCALE:  
HORZ: 1"=40'  
VERT: N/A  
DATE: 12/14/2020

NO.	DATE	BY	REVISIONS

**SHERMAN & FRYDRYK, LLC**  
*Land Surveying and Engineering*  
3 Converse Street, Suite 203  
Palmer, MA 01069

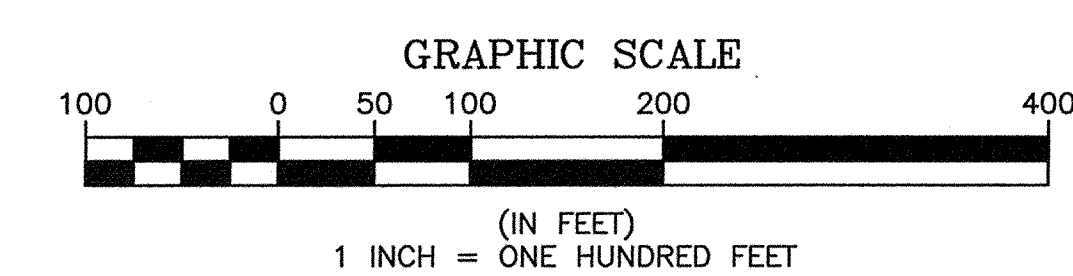
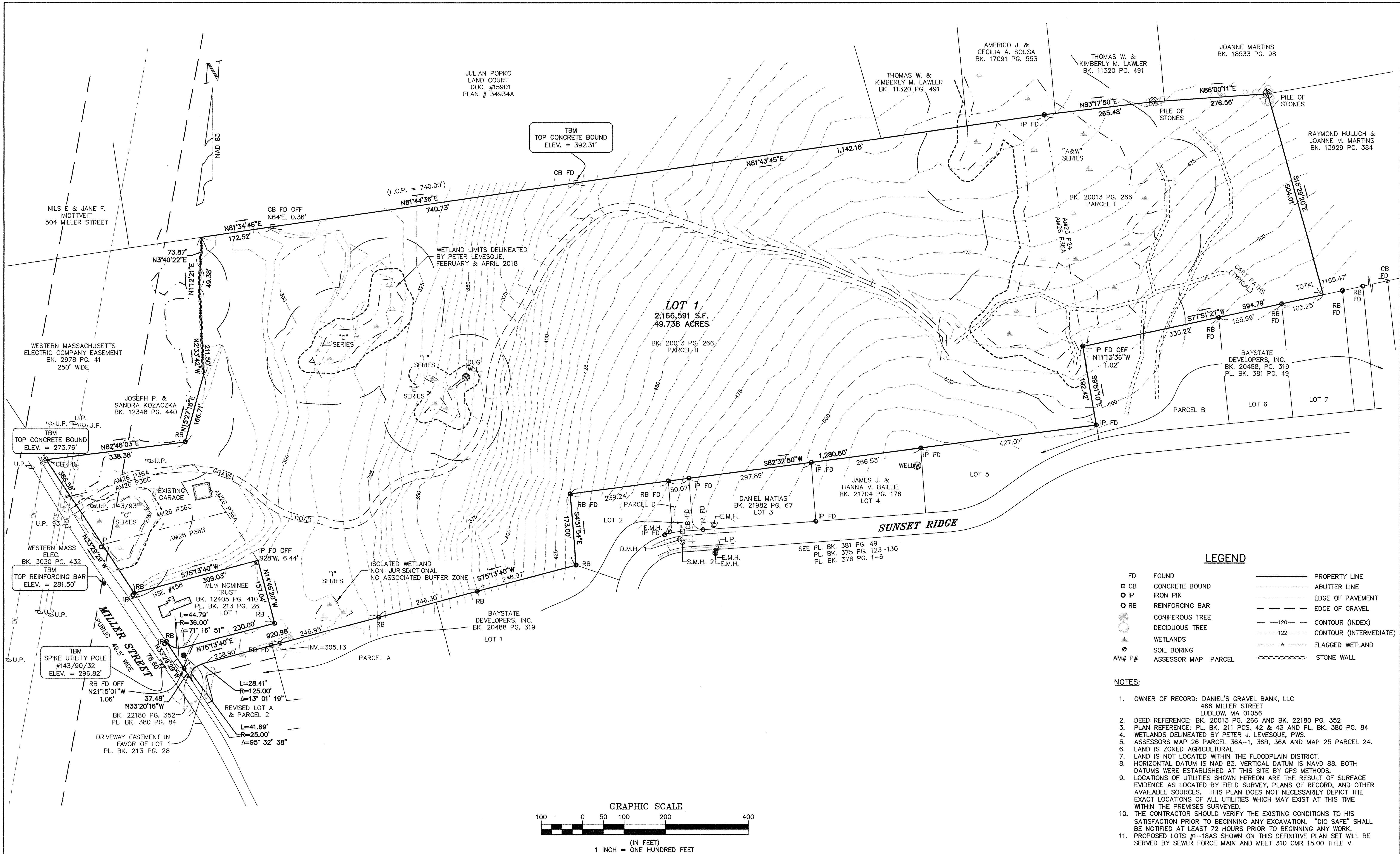
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COMPS: KJM  
DRAFTING: KJM  
CHECKED: TRF  
APPROVED: DJF

**DEFINITIVE SUBDIVISION  
"TWIN PEAK SUMMIT"**  
**PROPERTY LINE PLAN**

**PLAN OF LAND IN  
LUDLOW, MA**  
PREPARED FOR (OWNER)  
**DANIEL'S GRAVEL BANK, LLC**

**PROJECT NUMBER**  
05280B  
**SHEET NUMBER**  
**6 OF 21**  
A.K.A. 6 OF 6





**LEGEND**

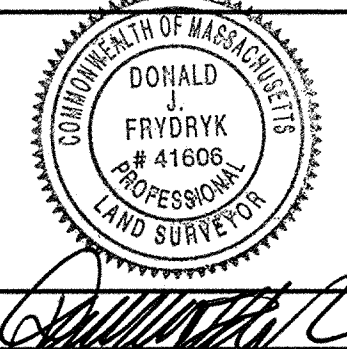
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CB	CONCRETE BOUND	—	ABUTTER LINE
IP	IRON PIN	—	EDGE OF PAVEMENT
RB	REINFORCING BAR	—	EDGE OF GRAVEL
(Tree symbol)	CONIFEROUS TREE	—120—	CONTOUR (INDEX)
(Tree symbol)	DECIDUOUS TREE	—122—	CONTOUR (INTERMEDIATE)
(Wetland symbol)	WETLANDS	—	FLAGGED WETLAND
(Boring symbol)	SOIL BORING	—	STONE WALL
AM# P#	ASSESSOR MAP PARCEL		

- NOTES:**
- OWNER OF RECORD: DANIEL'S GRAVEL BANK, LLC  
466 MILLER STREET  
LUDLOW, MA 01056
  - DEED REFERENCE: BK. 20013 PG. 266 AND BK. 22180 PG. 352
  - PLAN REFERENCE: PL. BK. 211 PGS. 42 & 43 AND PL. BK. 380 PG. 84
  - WETLANDS DELINEATED BY PETER J. LEVESQUE, PWS.
  - ASSESSORS MAP 26 PARCEL 36A-1, 36B, 36A AND MAP 25 PARCEL 24.
  - LAND IS ZONED AGRICULTURAL.
  - LAND IS NOT LOCATED WITHIN THE FLOODPLAIN DISTRICT.
  - HORIZONTAL DATUM IS NAD 83. VERTICAL DATUM IS NAVD 88. BOTH DATUMS WERE ESTABLISHED AT THIS SITE BY GPS METHODS.
  - LOCATIONS OF UTILITIES SHOWN HEREON ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY, PLANS OF RECORD, AND OTHER AVAILABLE SOURCES. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATIONS OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED.
  - THE CONTRACTOR SHOULD VERIFY THE EXISTING CONDITIONS TO HIS SATISFACTION PRIOR TO BEGINNING ANY EXCAVATION. "DIG SAFE" SHALL BE NOTIFIED AT LEAST 72 HOURS PRIOR TO BEGINNING ANY WORK.
  - PROPOSED LOTS #1-18AS SHOWN ON THIS DEFINITIVE PLAN SET WILL BE SERVED BY SEWER FORCE MAIN AND MEET 310 CMR 15.00 TITLE V.

NO.	DATE	BY	REVISIONS

**SHERMAN & FRYDRYK, LLC**  
*Land Surveying and Engineering*  
 3 Converse Street, Suite 203  
 Palmer, MA 01069

DESIGN: KTT, GAB  
 DRAFTING: KJM  
 CHECKED: KTT  
 APPROVED: DJF



SCALE:  
 HORZ: 1"=100'  
 VERT: N/A  
 DATE: 4/14/20

**EXISTING CONDITIONS**  
 & ABUTTERS PLAN

**DANIEL'S GRAVEL BANK, LLC**  
**DEFINITIVE SUBDIVISION PLAN**  
 MILLER STREET  
 LUDLOW, MA

**PROJECT NUMBER**  
05280B  
**SHEET NUMBER**  
7 OF 21





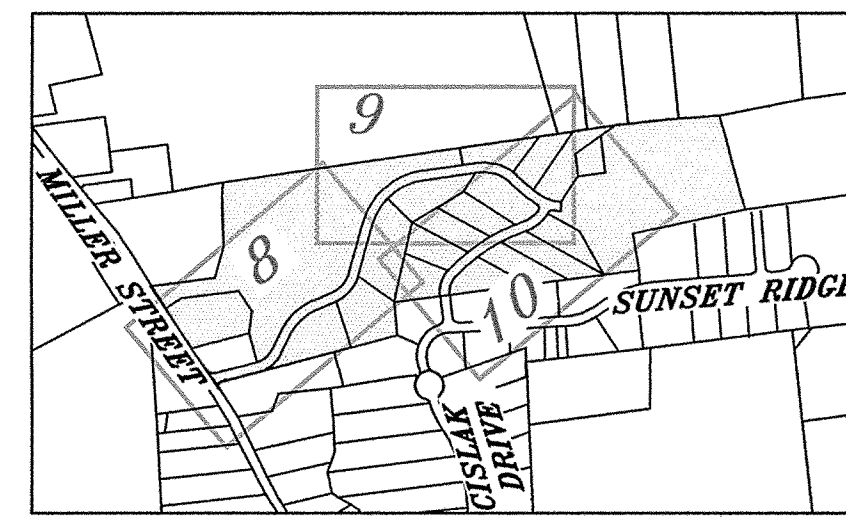


**PLANTING & LIGHTING NOTES:**

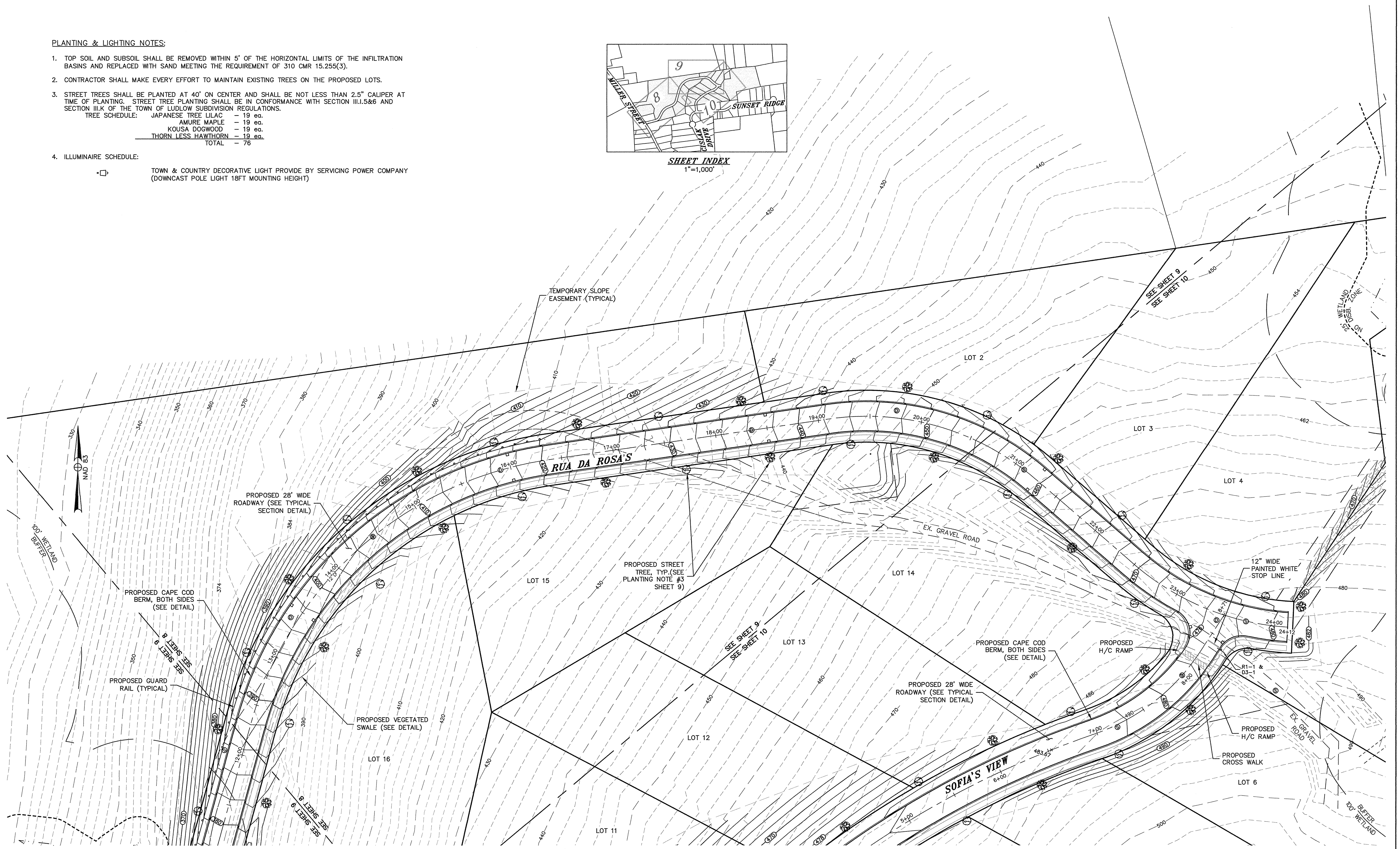
- TOP SOIL AND SUBSOIL SHALL BE REMOVED WITHIN 5' OF THE HORIZONTAL LIMITS OF THE INFILTRATION BASINS AND REPLACED WITH SAND MEETING THE REQUIREMENT OF 310 CMR 15.255(3).
- CONTRACTOR SHALL MAKE EVERY EFFORT TO MAINTAIN EXISTING TREES ON THE PROPOSED LOTS.
- STREET TREES SHALL BE PLANTED AT 40' ON CENTER AND SHALL BE NOT LESS THAN 2.5" CALIPER AT TIME OF PLANTING. STREET TREE PLANTING SHALL BE IN CONFORMANCE WITH SECTION III.1.5&6 AND SECTION III.K OF THE TOWN OF LUDLOW SUBDIVISION REGULATIONS.  
 TREE SCHEDULE: JAPANESE TREE LILAC - 19 ea.  
 AMURE MAPLE - 19 ea.  
 KOUSA DOGWOOD - 19 ea.  
 THORN LESS HAWTHORN - 19 ea.  
 TOTAL - 76

**4. ILLUMINAIRE SCHEDULE:**

- TOWN & COUNTRY DECORATIVE LIGHT PROVIDE BY SERVICING POWER COMPANY (DOWNCAST POLE LIGHT 18FT MOUNTING HEIGHT)



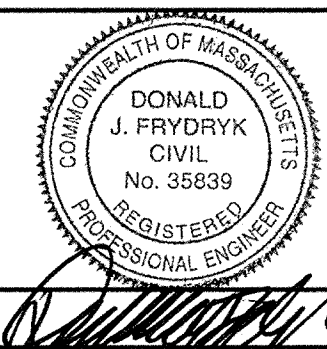
**SHEET INDEX**  
1"=1,000'



NO.	DATE	BY	REVISIONS

**SHERMAN & FRYDRYK, LLC**  
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 3 Converse Street, Suite 203  
 Palmer, MA 01069

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 CHECKED: KTT  
 APPROVED: DJF



SCALE:  
 HORZ: 1"=40'  
 VERT: N/A  
 DATE: 12/14/20

**GRADING PLAN**

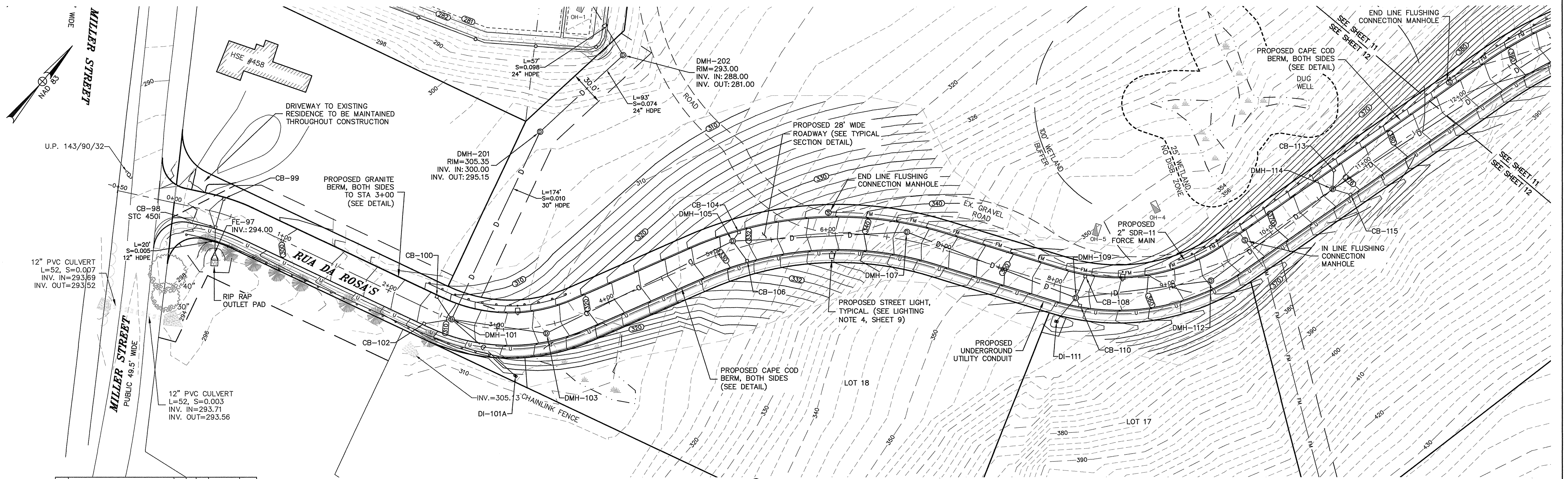
**TWIN PEAK SUMMIT  
 DEFINITIVE SUBDIVISION PLAN**  
 MILLER STREET  
 LUDLOW, MA

**PROJECT NUMBER**  
05280B  
**SHEET NUMBER**  
9 OF 21

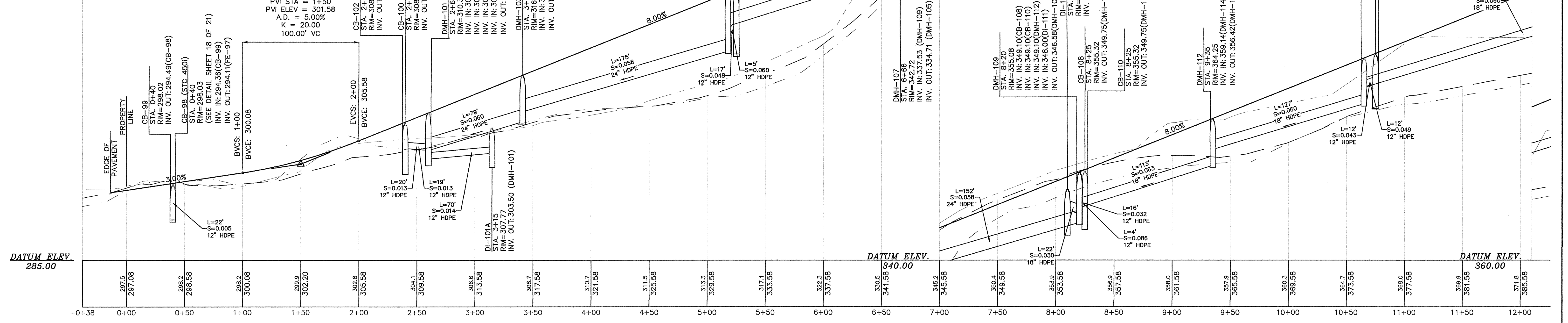
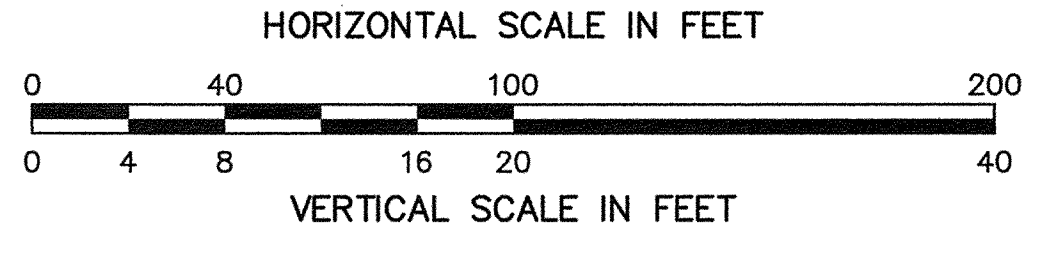








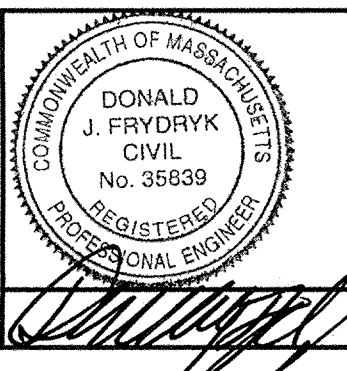
SHEET INDEX  
1"=1,000'



NO.	DATE	BY	REVISIONS

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 3 Converse Street, Suite 203  
 Palmer, MA 01069

DESIGN: KTT, GAB  
 DRAFTING: KTT, GAB  
 CHECKED: KTT  
 APPROVED: DJF



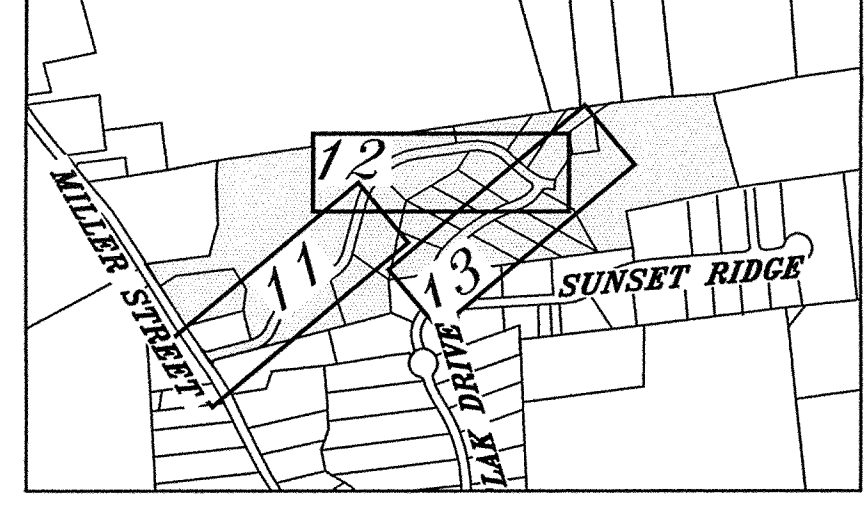
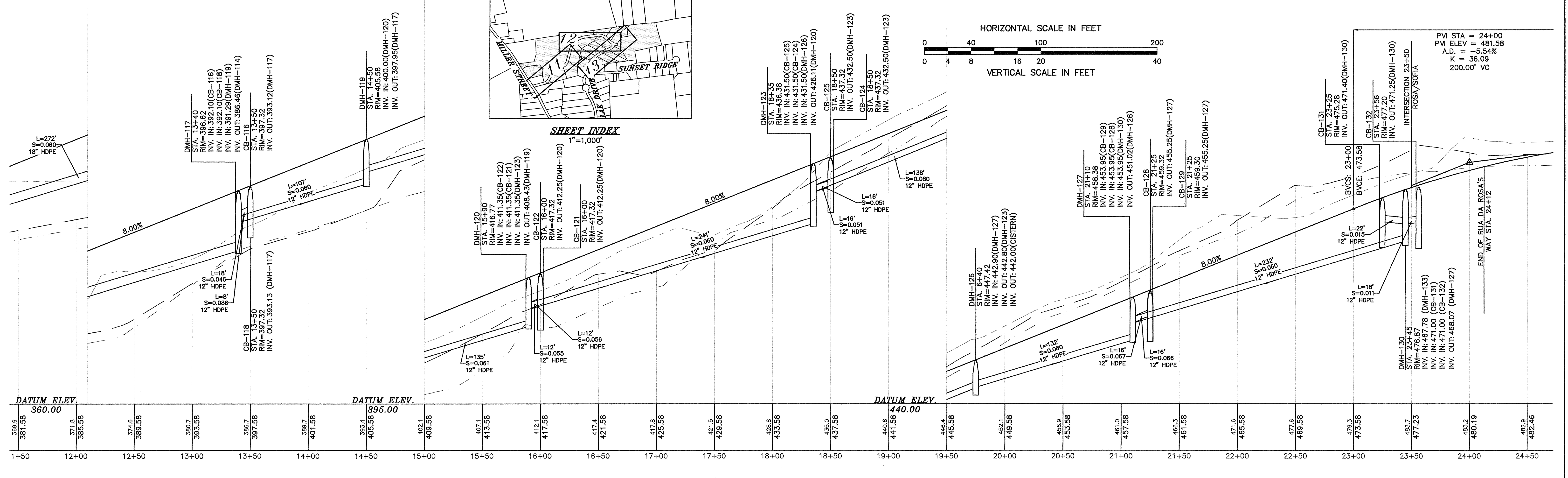
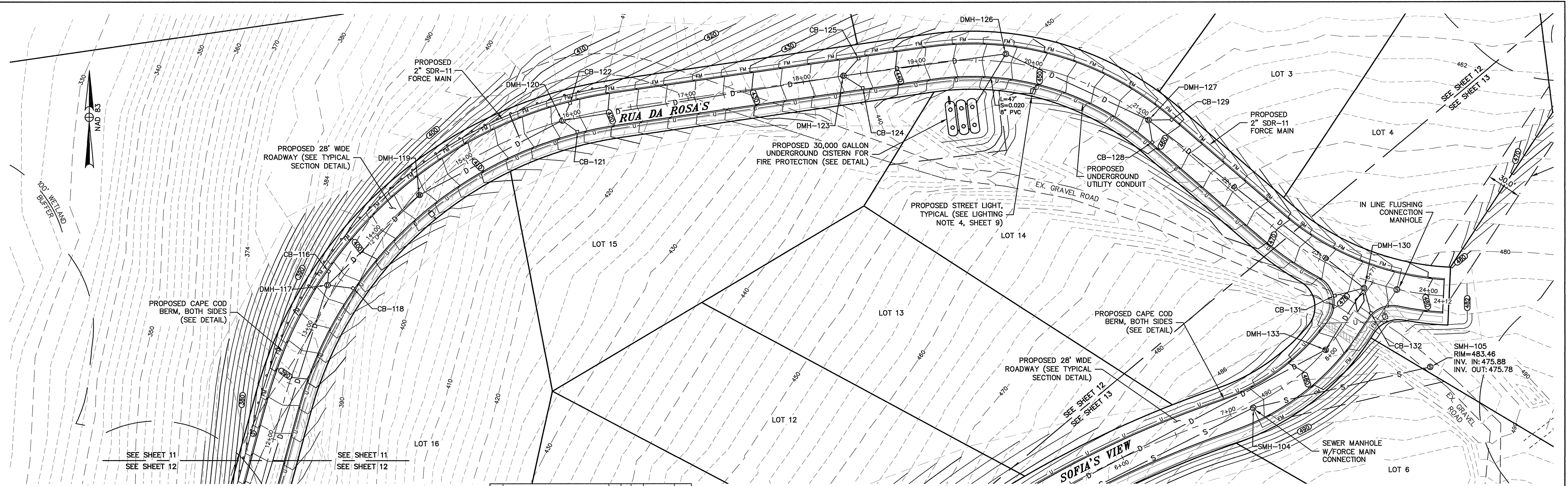
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 VERT: 1"=8'  
 DATE: 12/14/20

**PLAN & PROFILE**

**TWIN PEAK SUMMIT  
 DEFINITIVE SUBDIVISION PLAN  
 MILLER STREET  
 LUDLOW, MA**

PROJECT NUMBER  
 05280B  
 SHEET NUMBER  
**11 OF 21**



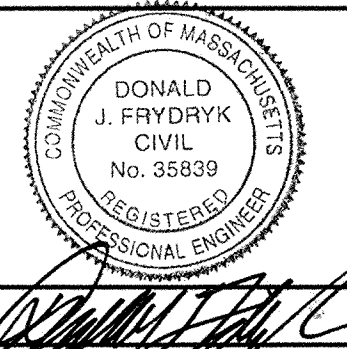


**SHEET INDEX**  
1"=1,000'

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Land Surveying and Engineering  
3 Converse Street, Suite 203  
Palmer, MA 01069

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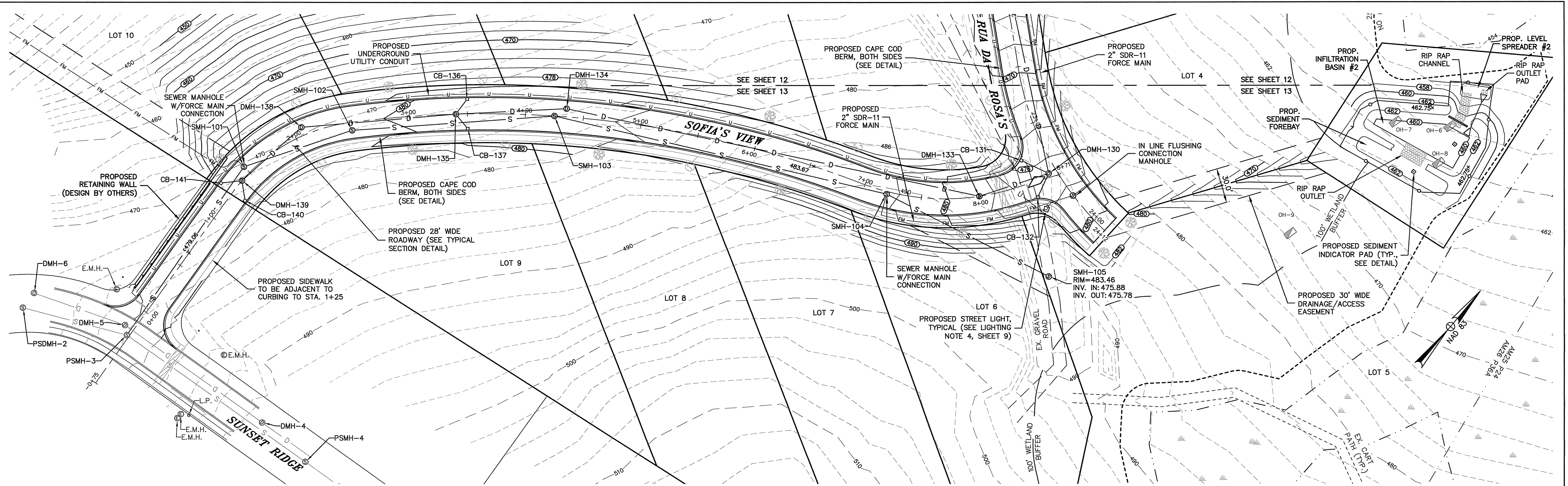
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**PLAN & PROFILE**

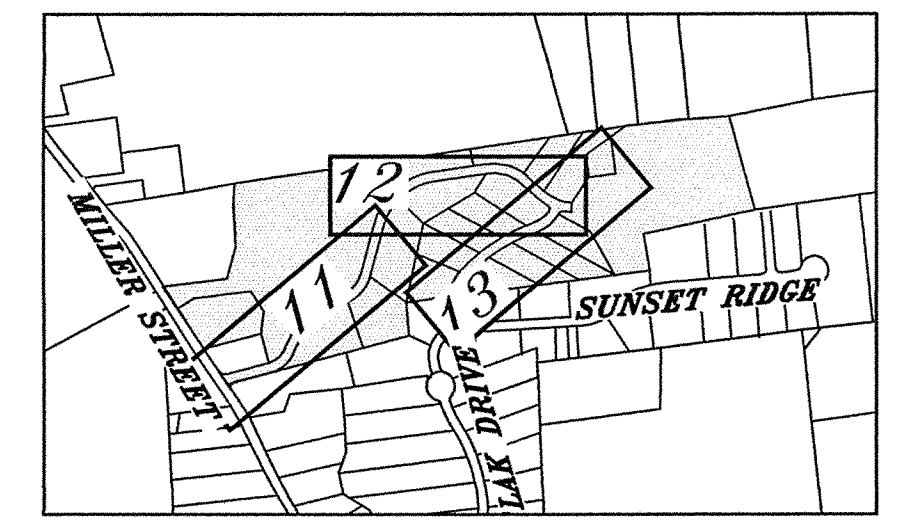
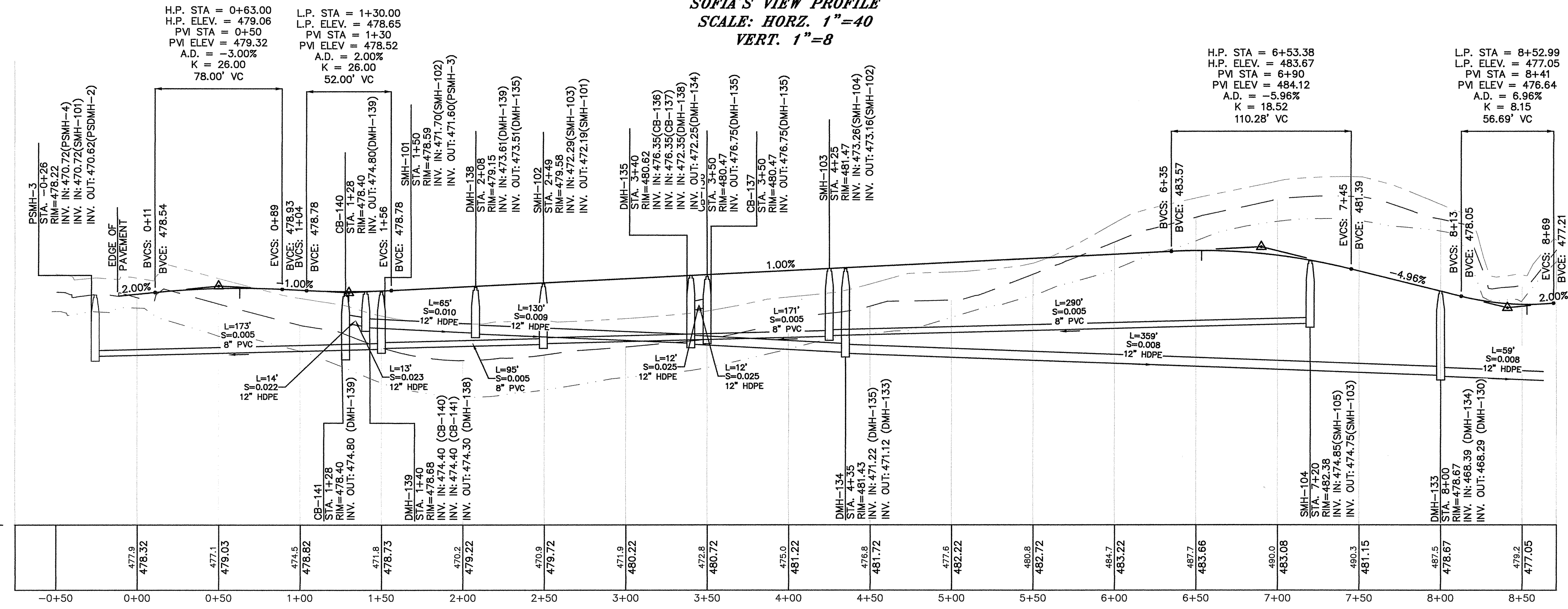
**TWIN PEAK SUMMIT**  
**DEFINITIVE SUBDIVISION PLAN**  
MILLER STREET  
LUDLOW, MA

**PROJECT NUMBER**  
05280B  
**SHEET NUMBER**  
12 OF 21

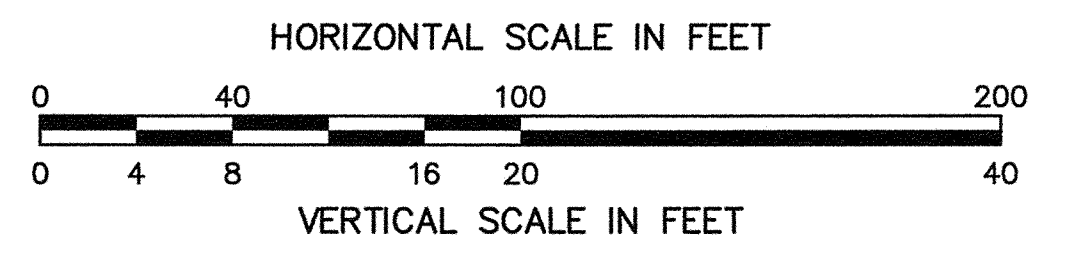




**SOPIA'S VIEW PROFILE**  
SCALE: HORZ. 1"=40  
VERT. 1"=8



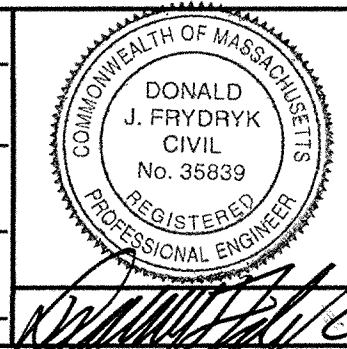
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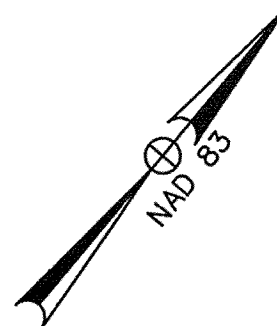
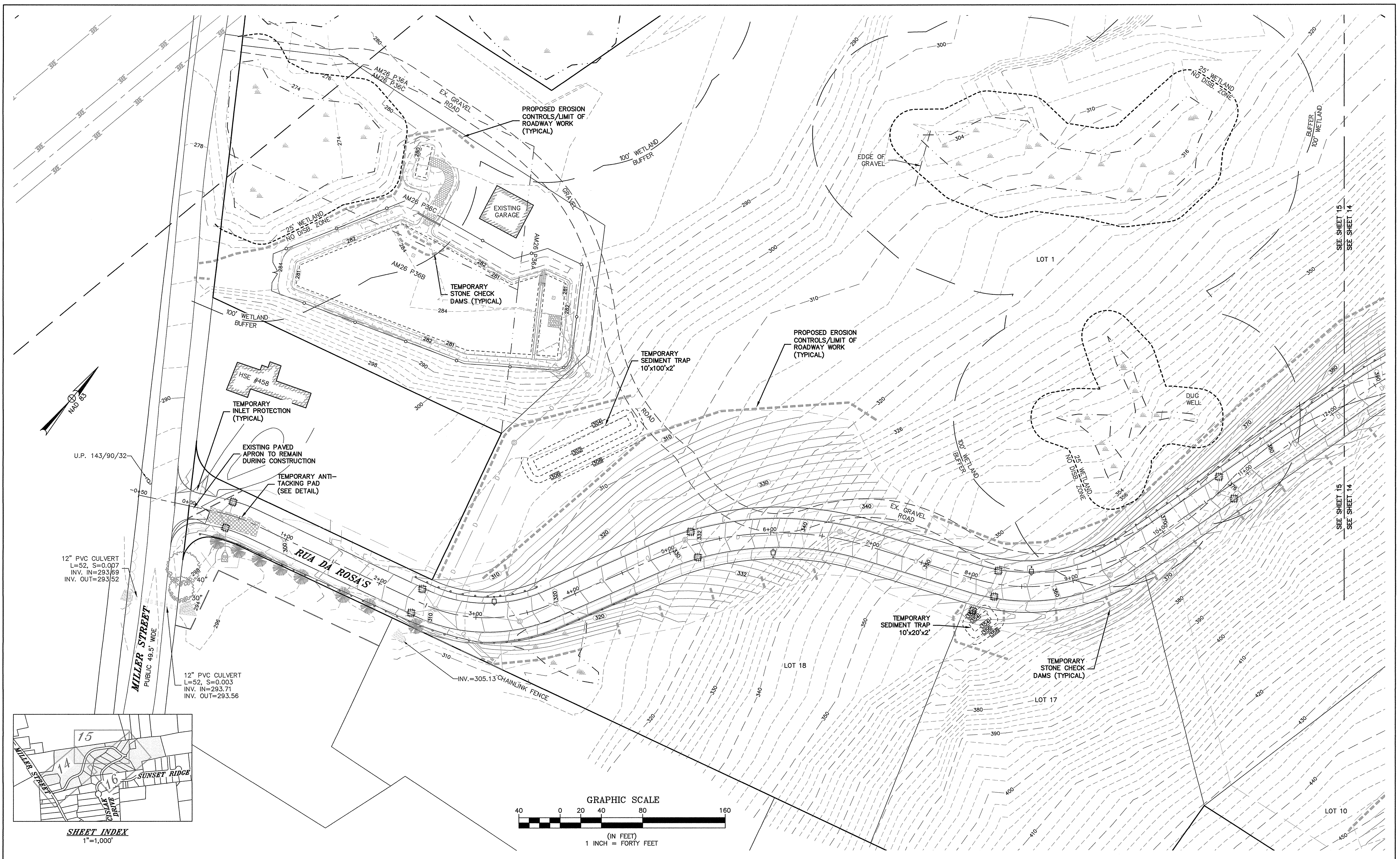
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**PLAN & PROFILE**

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MILLER STREET  
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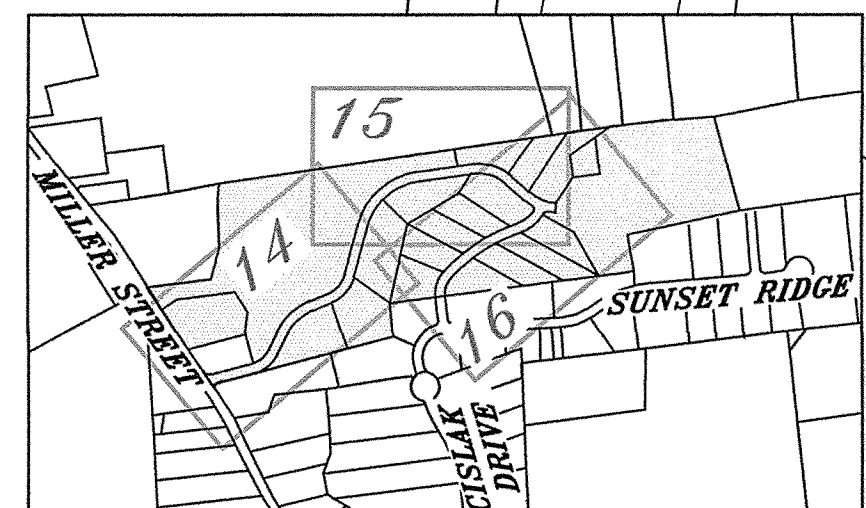
PROJECT NUMBER  
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**13 OF 21**



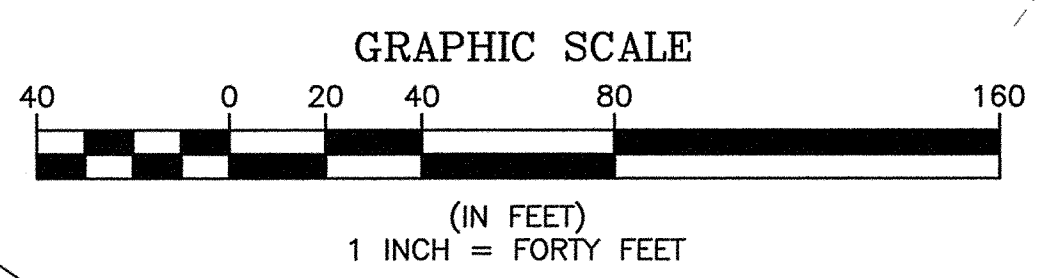


U.P. 143/90/32  
 12" PVC CULVERT  
 L=52, S=0.007  
 INV. IN=293.69  
 INV. OUT=293.52

12" PVC CULVERT  
 L=52, S=0.003  
 INV. IN=293.71  
 INV. OUT=293.56



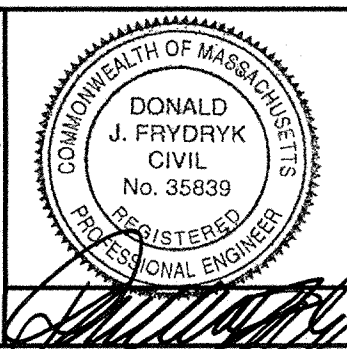
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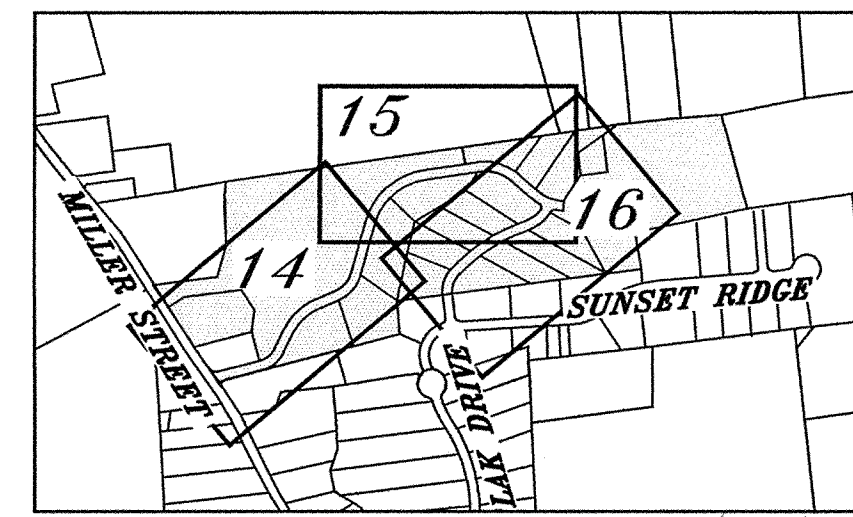
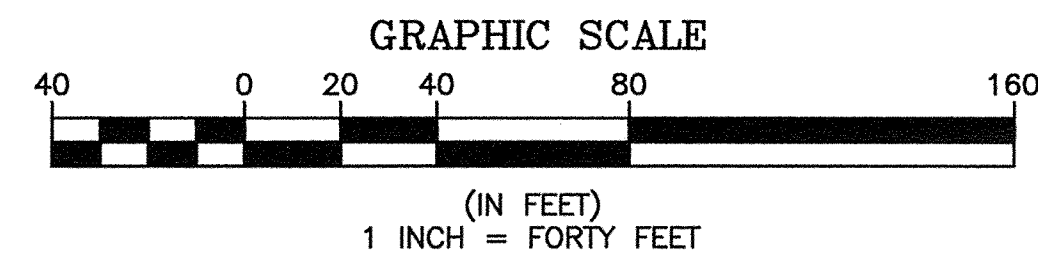
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 VERT: N/A  
 DATE: 12/14/20

**EROSION CONTROL PLAN**

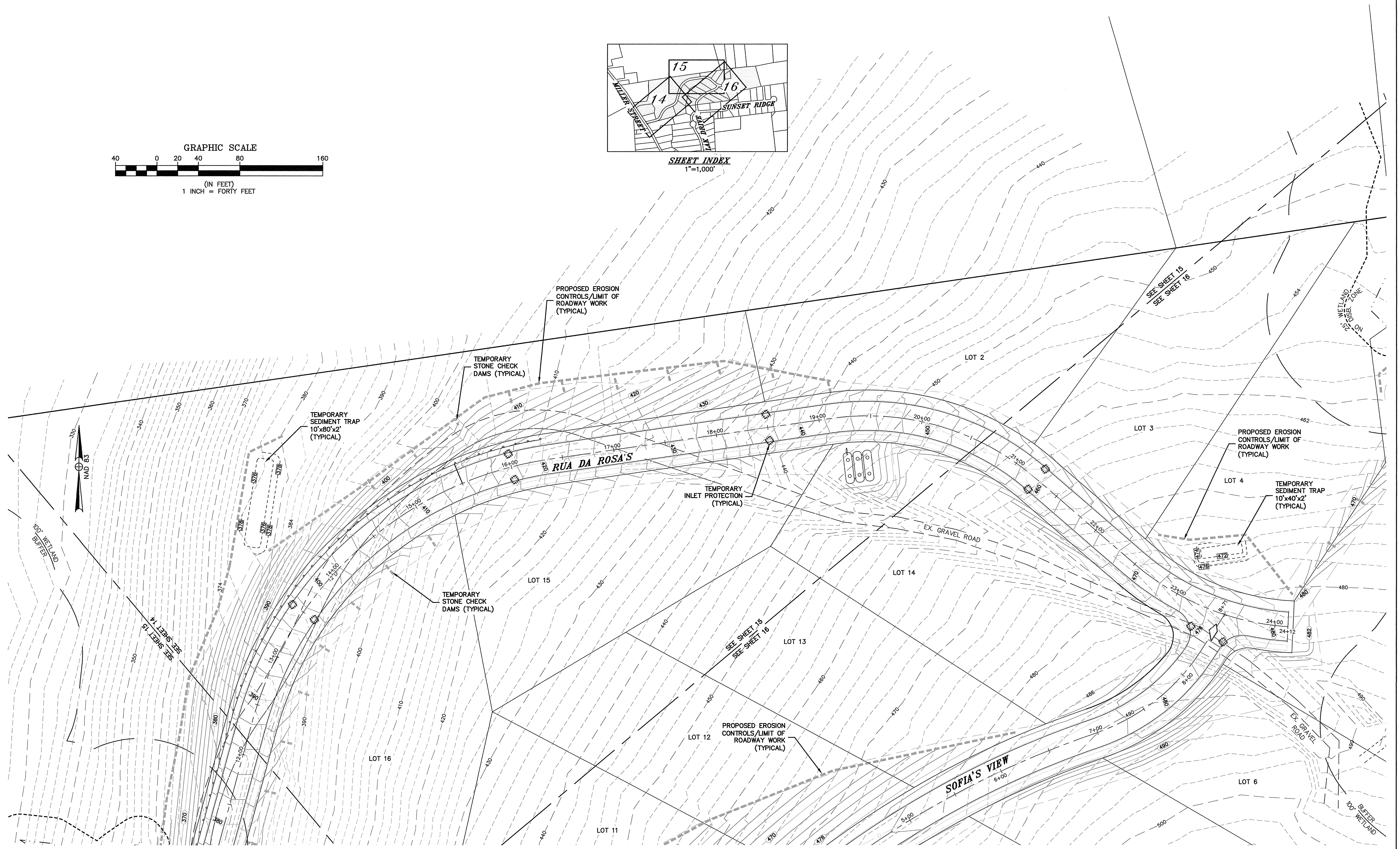
**TWIN PEAK SUMMIT  
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 MILLER STREET  
 LUDLOW, MA

**PROJECT NUMBER**  
 05280B  
**SHEET NUMBER**  
 14 OF 21





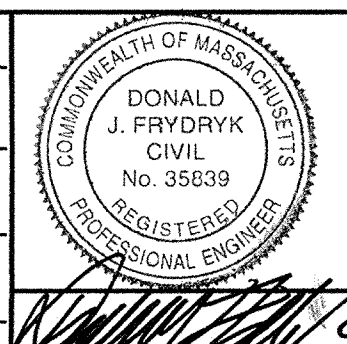
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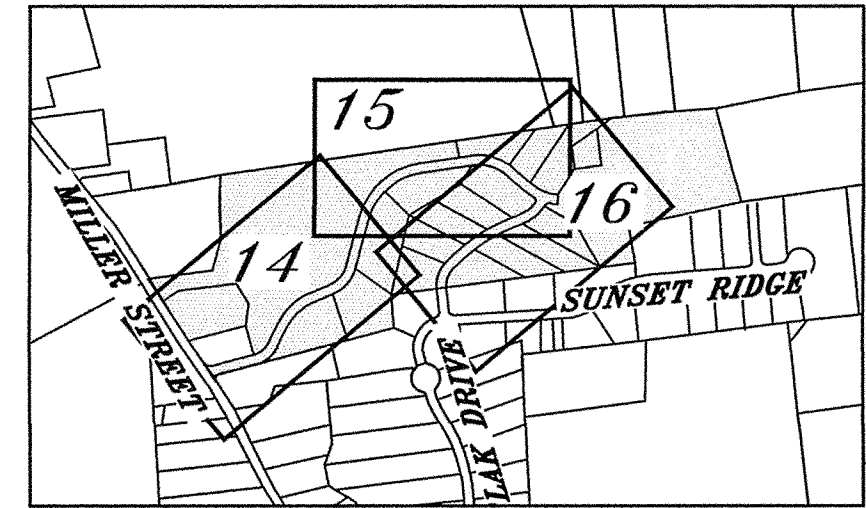
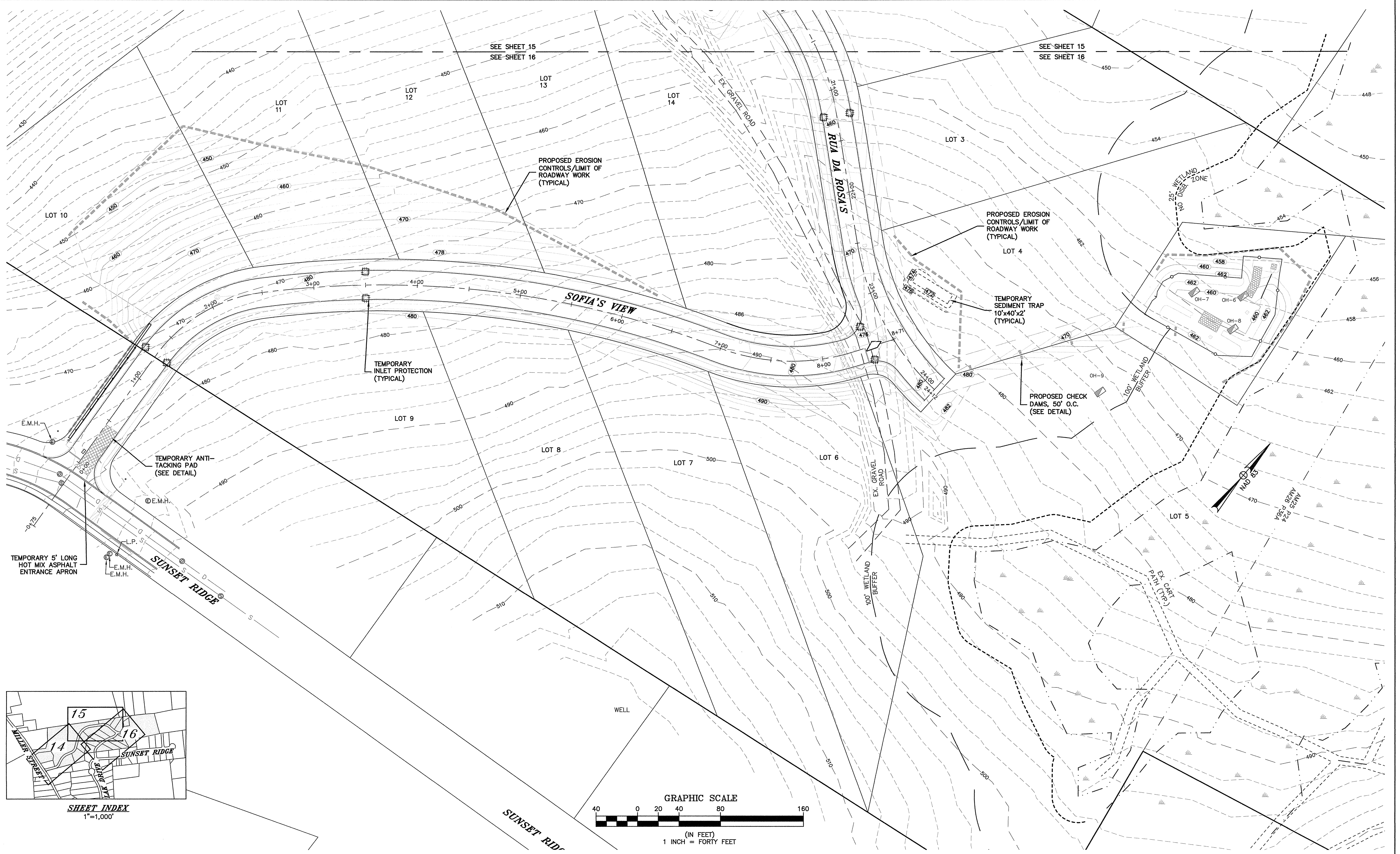
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**EROSION CONTROL PLAN**

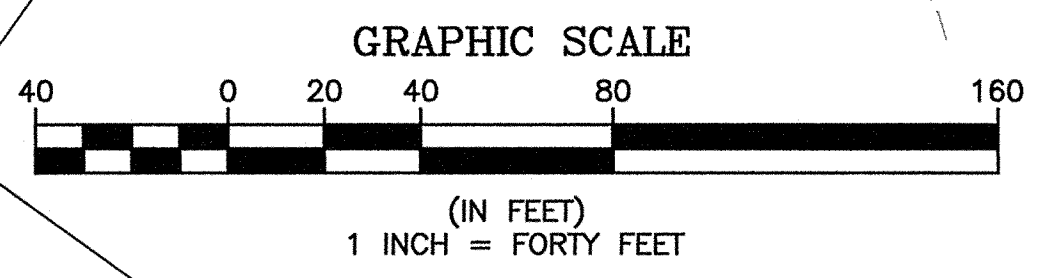
**TWIN PEAK SUMMIT  
 DEFINITIVE SUBDIVISION PLAN**  
 MILLER STREET  
 LUDLOW, MA

**PROJECT NUMBER**  
05280B  
**SHEET NUMBER**  
15 OF 21





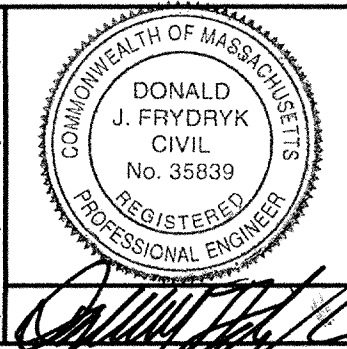
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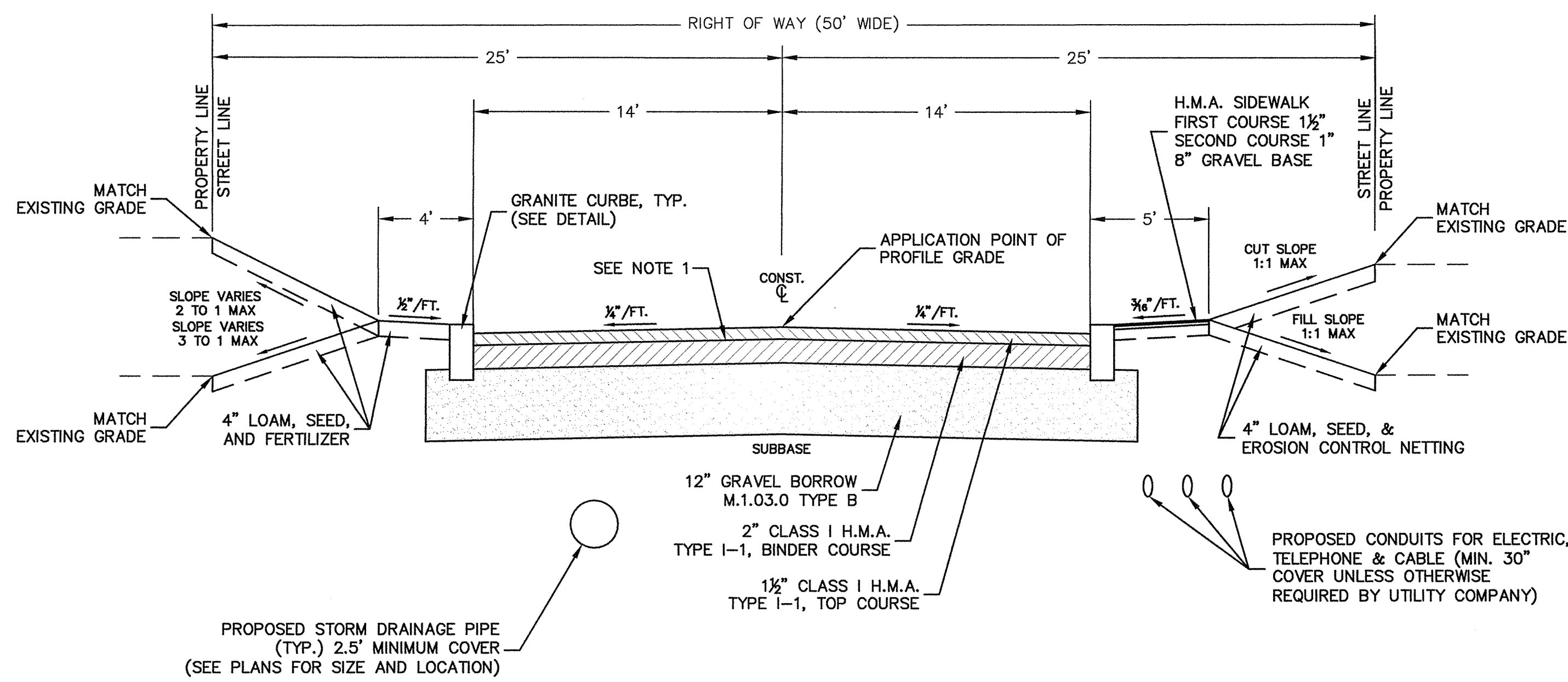
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**EROSION CONTROL PLAN**

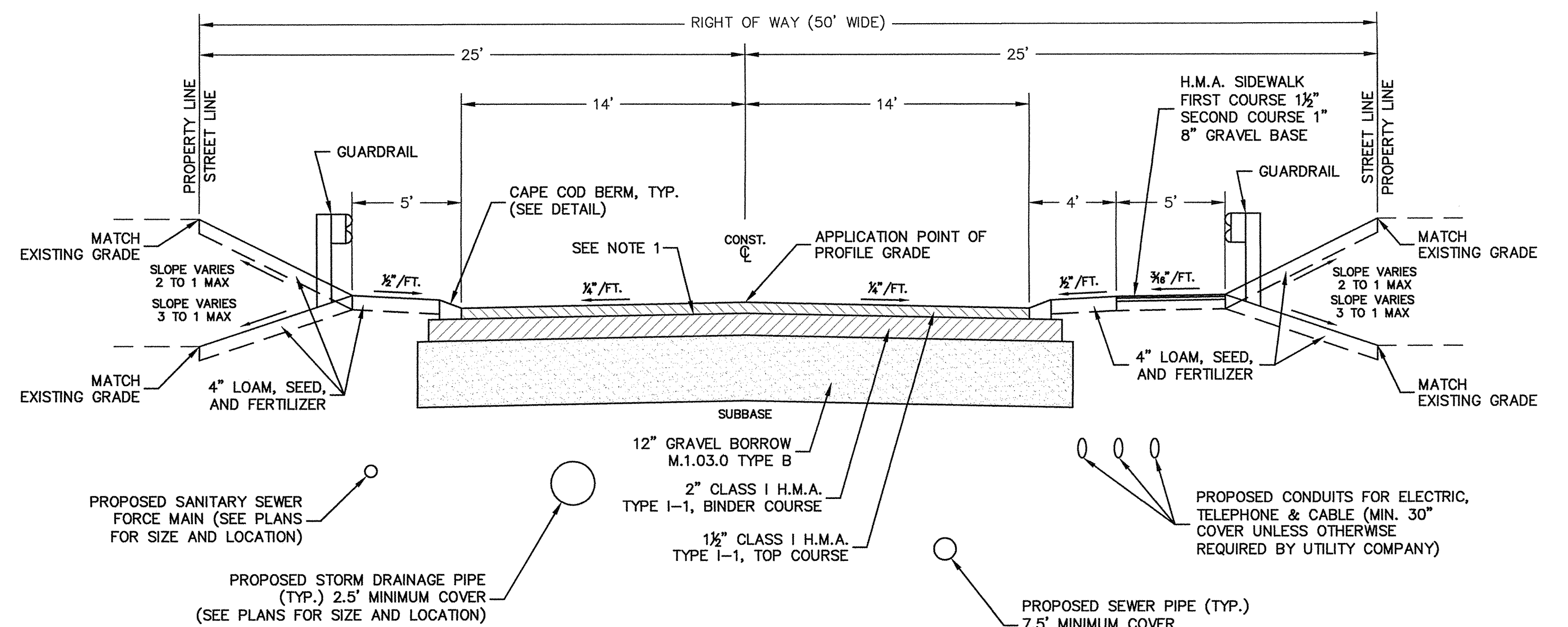
**TWIN PEAK SUMMIT  
DEFINITIVE SUBDIVISION PLAN**  
MILLER STREET  
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PROJECT NUMBER  
05280B  
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**16 OF 21**



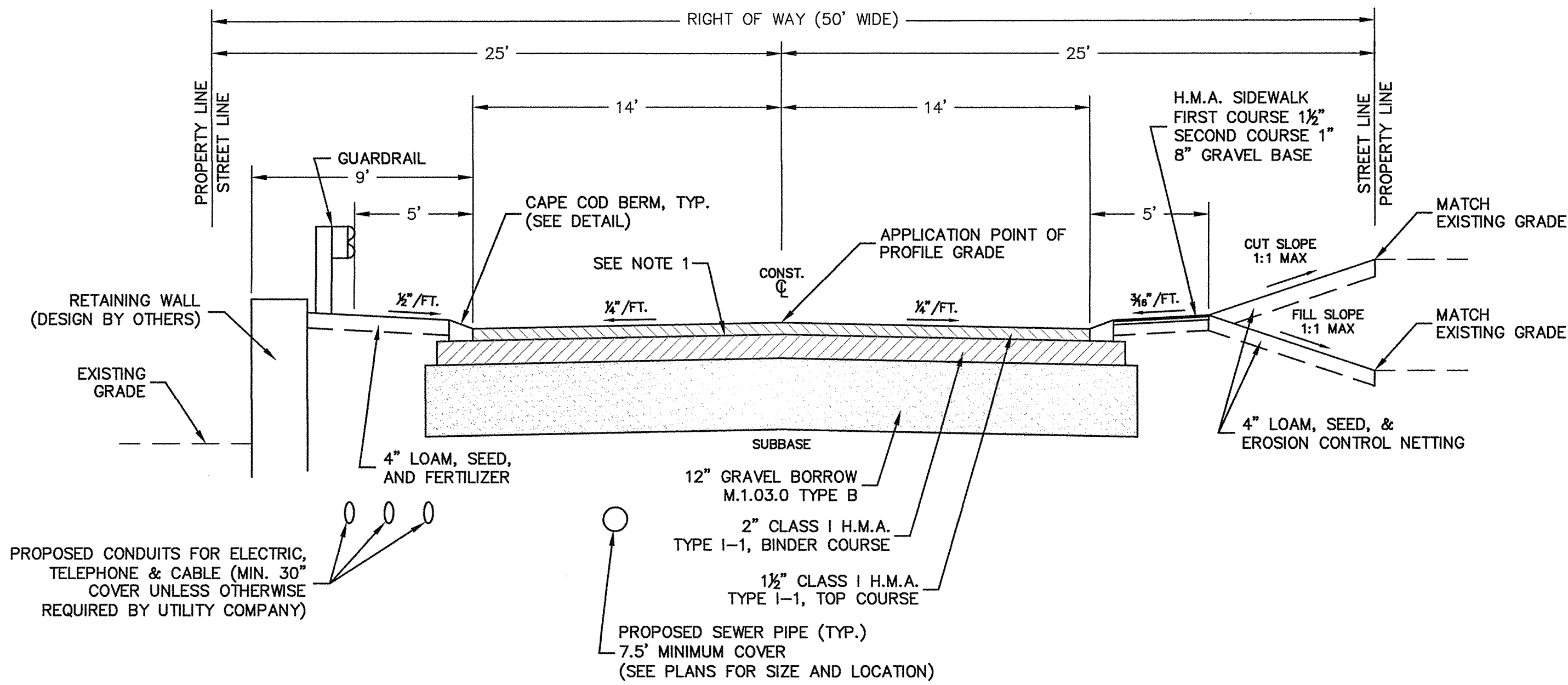


**RUA DA ROSA'S WAY SECTION 0+00 TO 3+00**  
N.T.S.

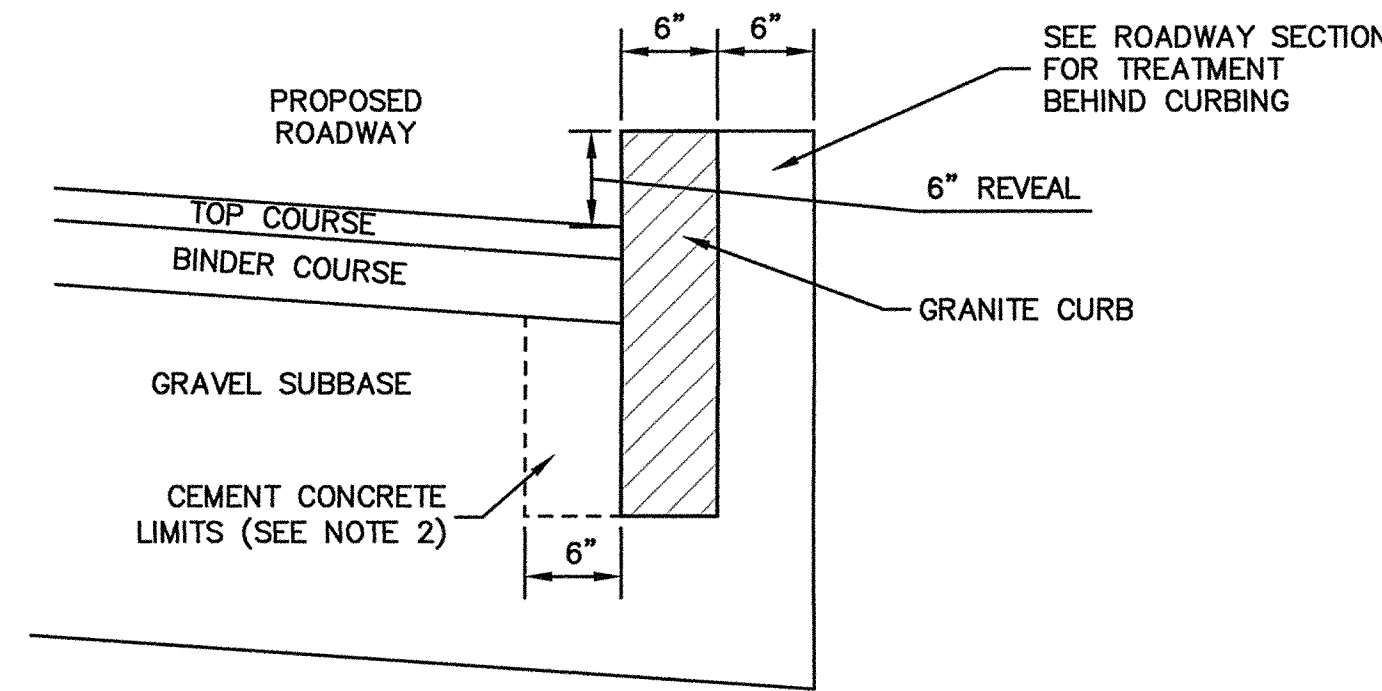


**TYPICAL SECTION**  
N.T.S.

NOTE:  
1. BITUMINOUS EMULSION TACK COAT AT THE RATE OF 1 GALLON PER 20 S.Y. SHALL BE APPLIED TO THE BINDER COURSE PRIOR TO THE INSTALLATION OF THE TOP COURSE.

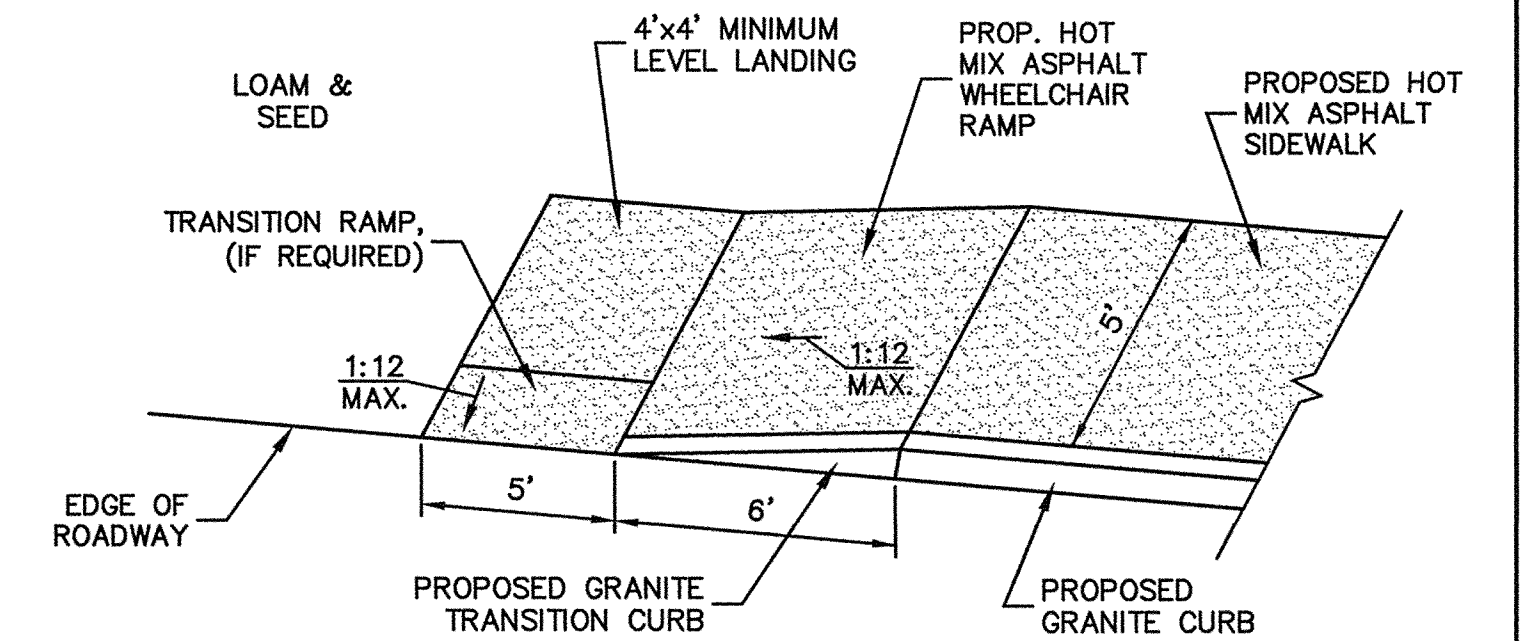


**SOFIA'S WAY SECTION 0+00 TO 1+50**  
N.T.S.



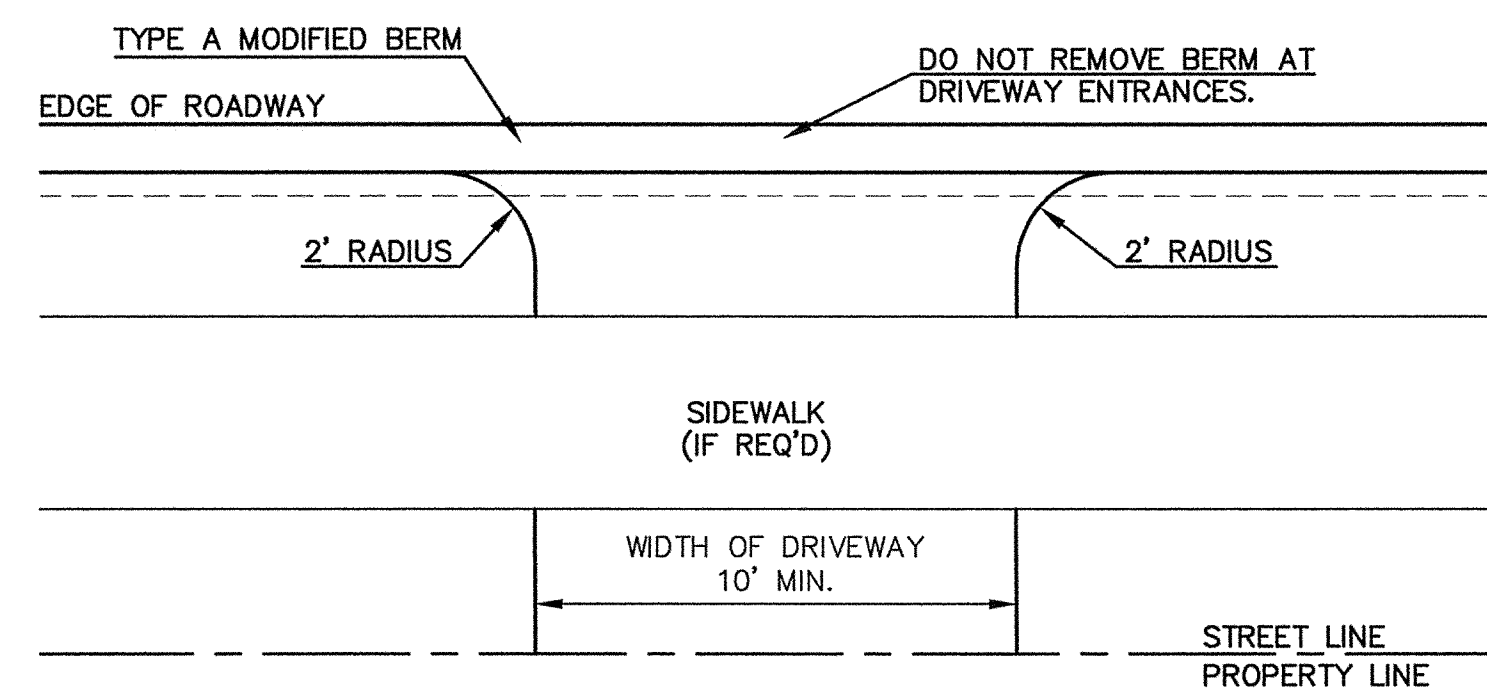
**GRANITE CURB**  
N.T.S.

NOTES:  
1. CUT NEAT LINE 6" FROM CURB LINE AND REMOVE BINDER, BASE AND STONE, REPLACE WITH CEMENT CONCRETE.  
2. ANY CLASS CEMENT CONCRETE THAT IS ACCEPTABLE TO THE DEPT. UNDER SECTION M4 OF THE 1973 STANDARD SPECIFICATIONS; HOT MIX ASPHALT SHALL NOT BE USED AS A SUBSTITUTE.

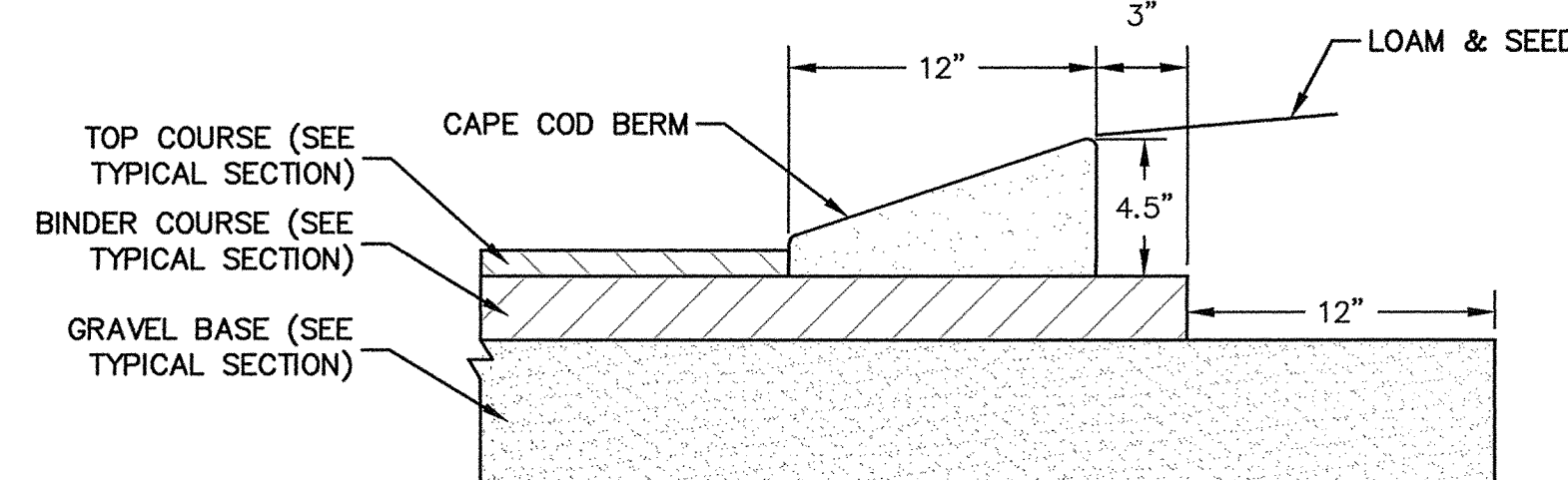


NOTE:  
1. WALK, LANDING & RAMP SHALL BE CONSTRUCTED WITH A MAXIMUM OF 2% CROSS SLOPE.

**WHEELCHAIR RAMP AT WALK TERMINUS**  
N.T.S.

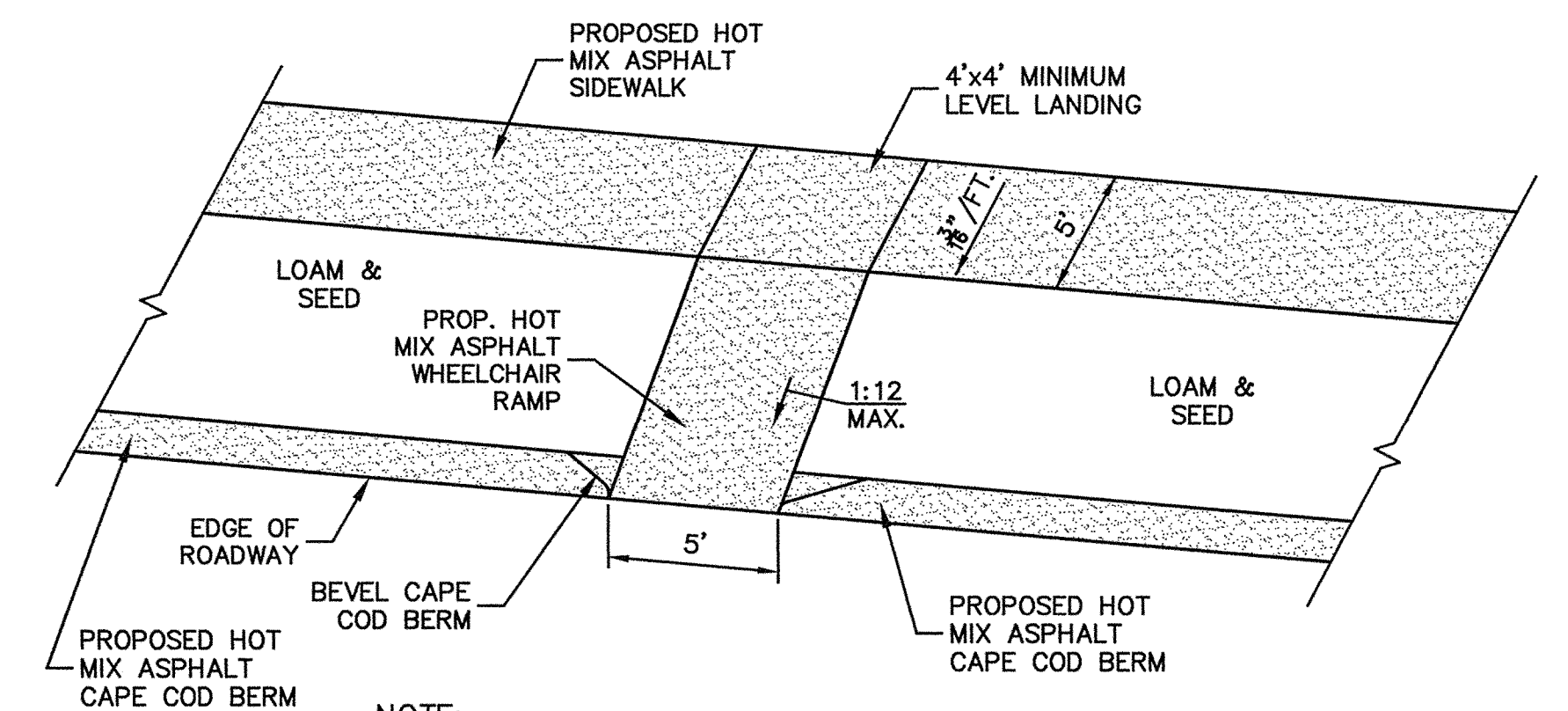


**BITUMINOUS DRIVEWAY**  
N.T.S.



**CAPE COD ASPHALT BERM**  
N.T.S.

NOTES:  
1. DO NOT REMOVE BITUMINOUS BERM AT DRIVEWAY ENTRANCES.  
2. BITUMINOUS EMULSION TACK COAT AT THE RATE OF 1 GALLON PER 20 SQUARE YARDS SHALL BE APPLIED TO THE BINDER COURSE PRIOR TO INSTALLATION OF THE BERM.



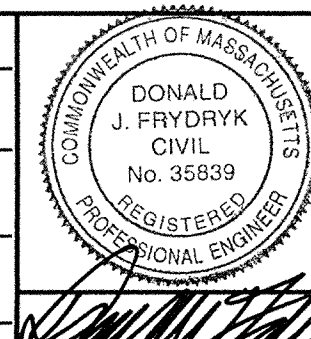
NOTE:  
1. WALK, LANDING & RAMP SHALL BE CONSTRUCTED WITH A MAXIMUM OF 2% CROSS SLOPE.

**WHEELCHAIR RAMP W/ GRASS STRIP**  
N.T.S.

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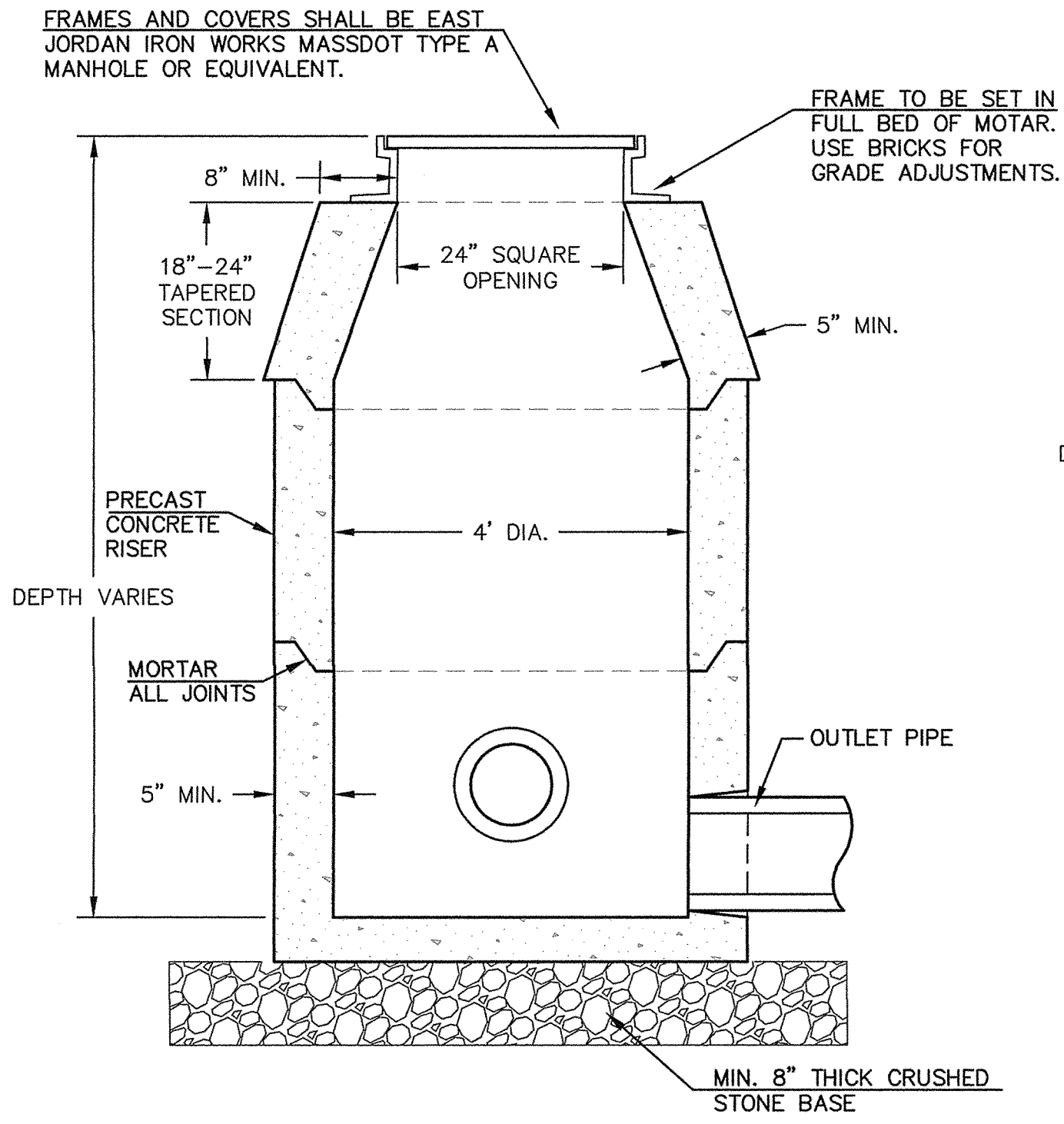
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HORZ: AS NOTED  
VERT: N/A  
DATE: 12/14/20

**DETAILS**

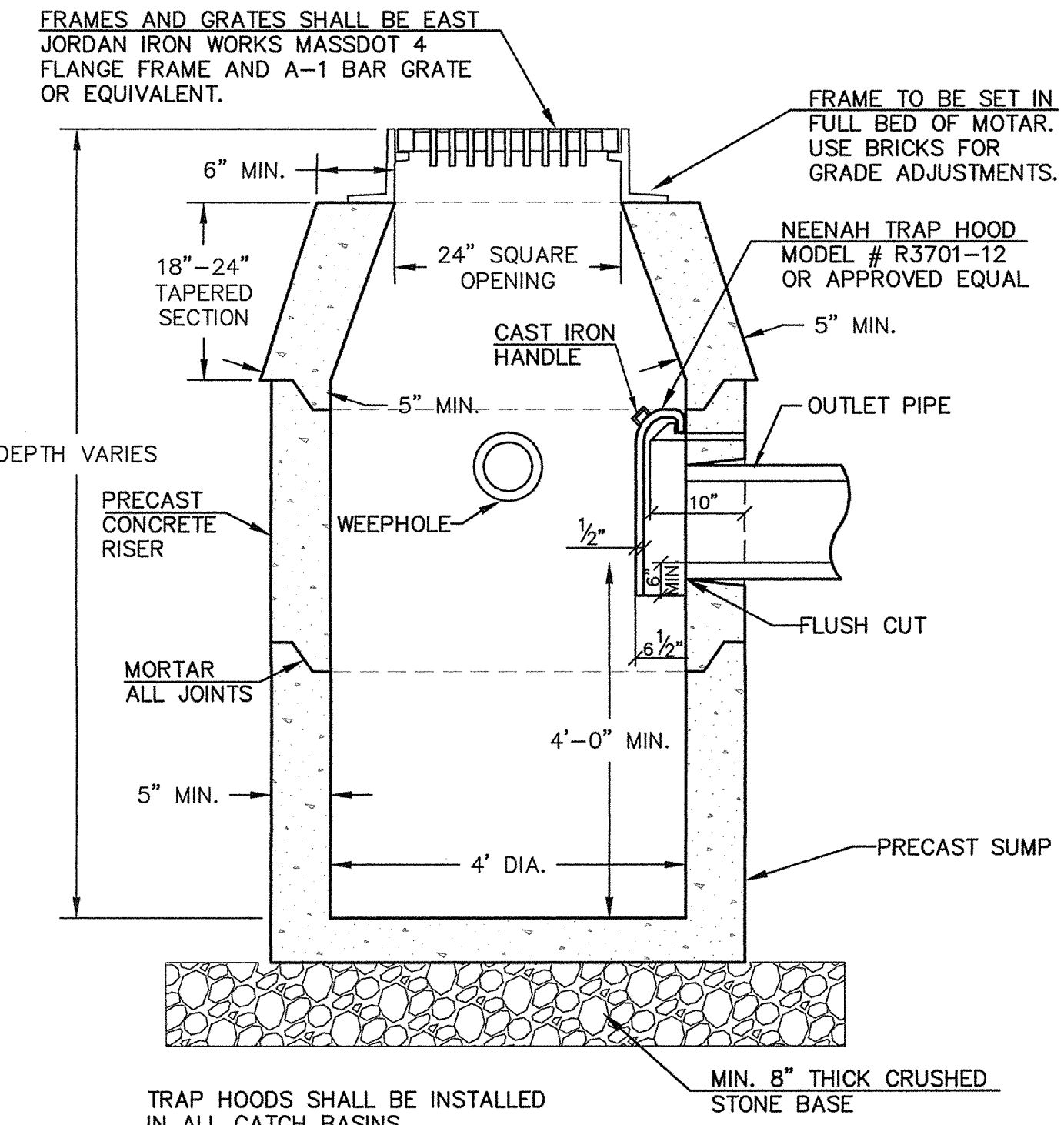
**TWIN PEAK SUMMIT**  
**DEFINITIVE SUBDIVISION PLAN**  
MILLER STREET  
LUDLOW, MA

PROJECT NUMBER  
05280B  
SHEET NUMBER  
17 OF 21

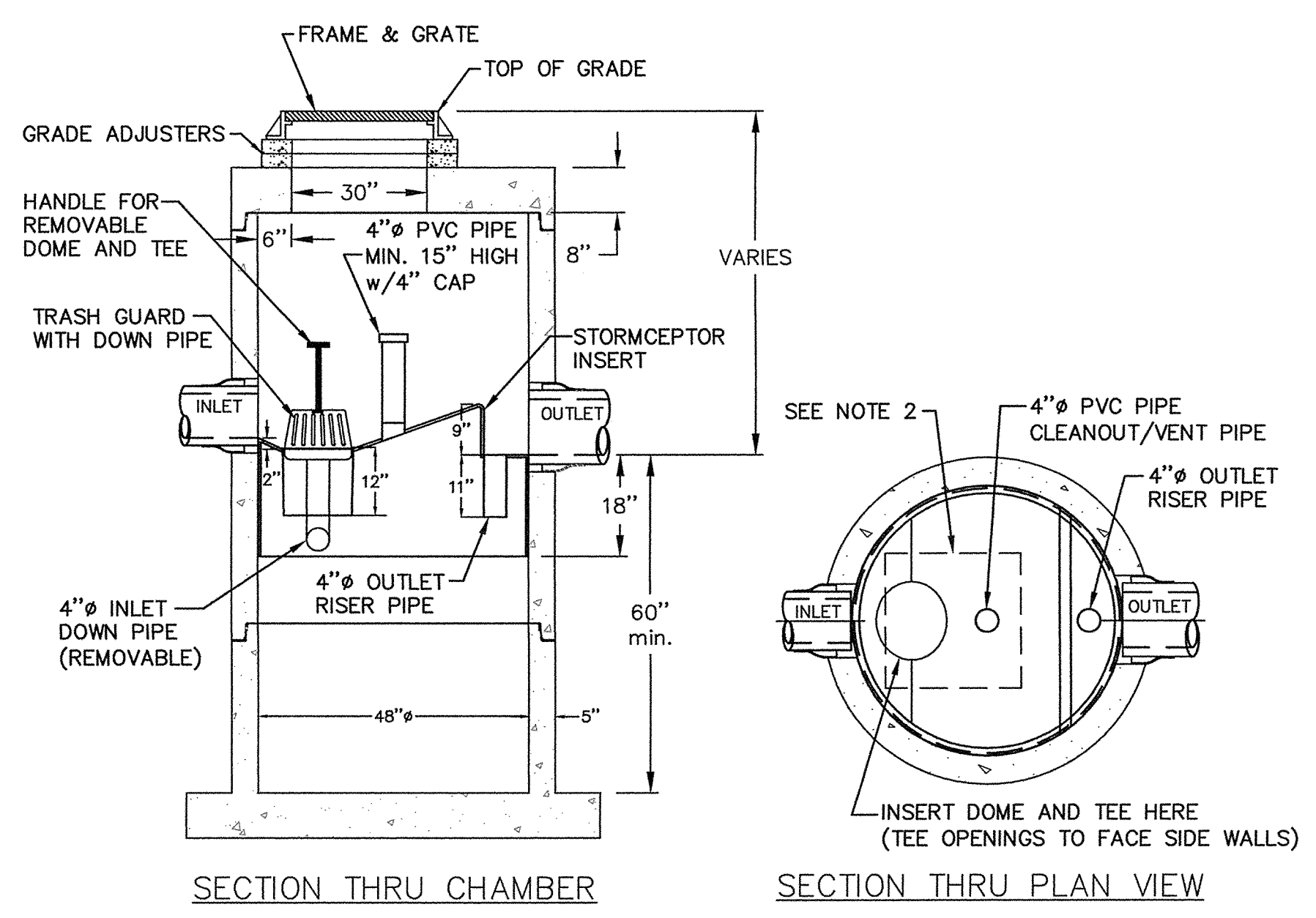




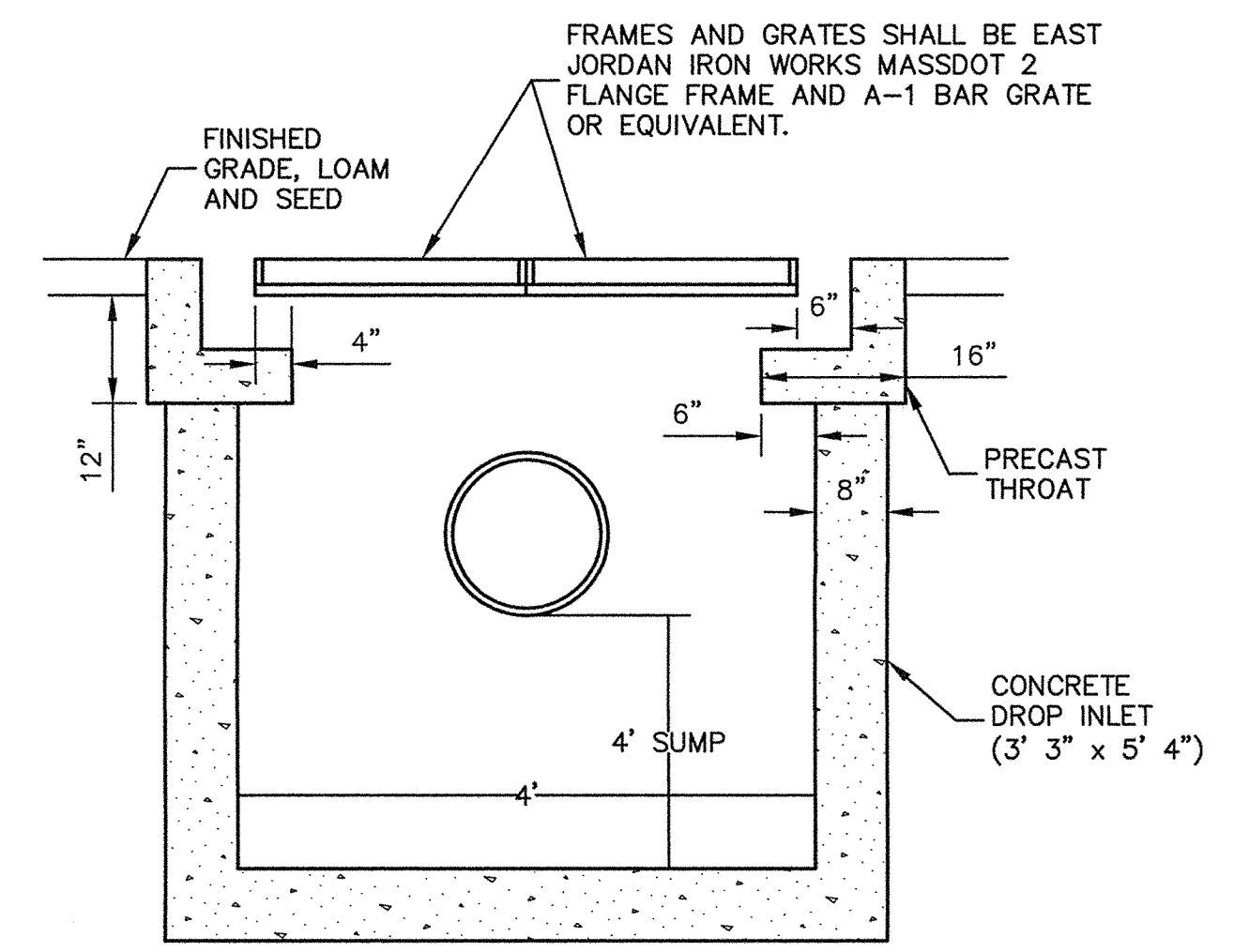
**PRECAST CONCRETE MANHOLE**  
N.T.S.



**PRECAST CONCRETE CATCH BASIN**  
N.T.S.



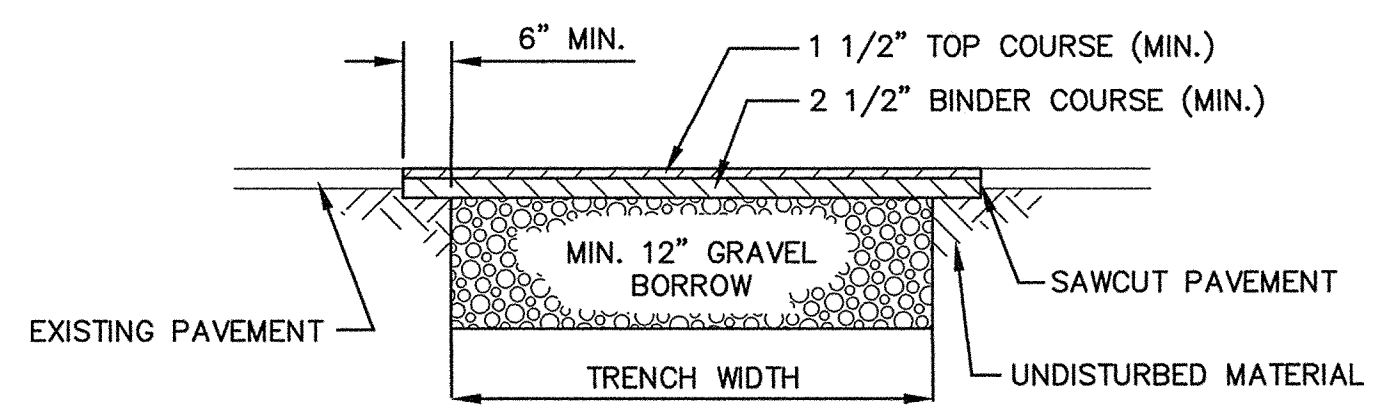
**STC 450i Precast Concrete Stormceptor®**  
(450 US Gallon Capacity)



**DROP INLET - TYPE AF**  
N.T.S.

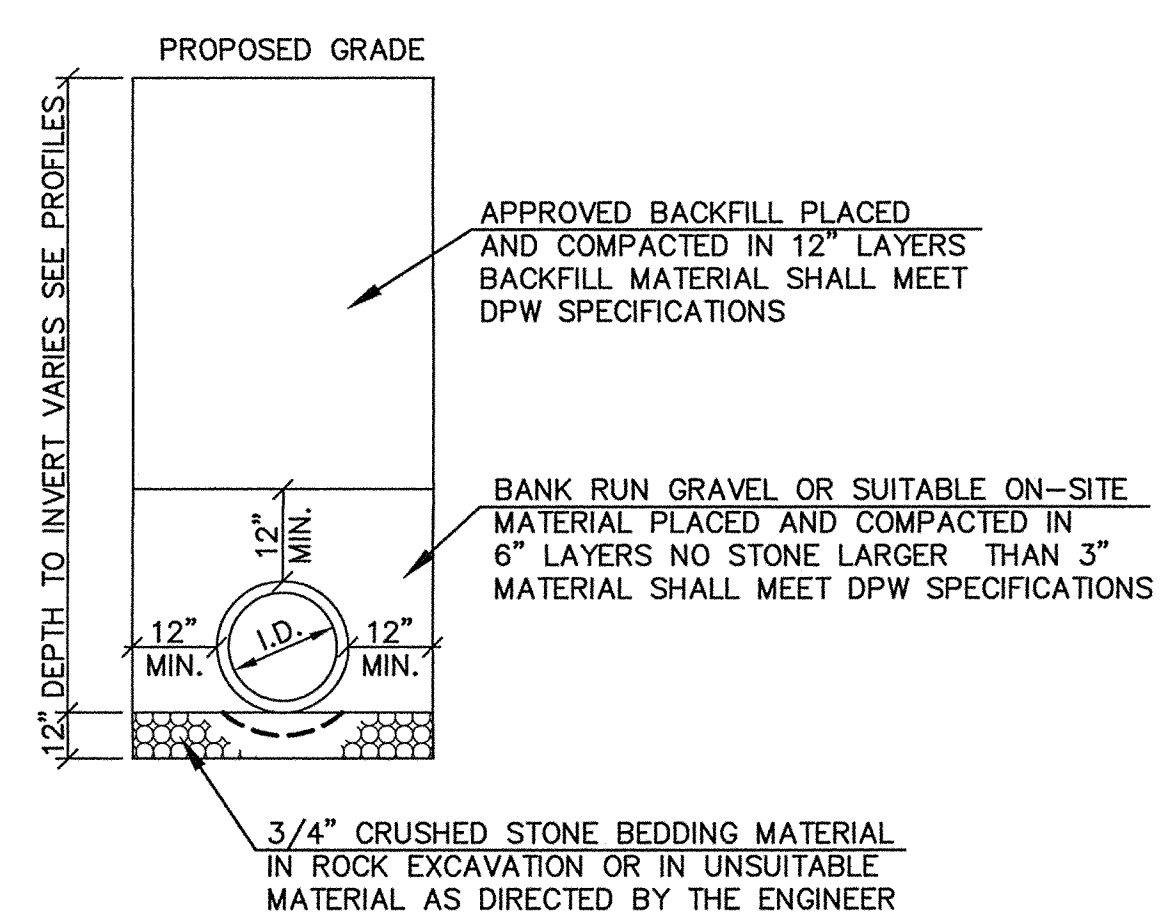
**CONSTRUCTION NOTES:**

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF LUDLOW STANDARD CONSTRUCTION SPECIFICATIONS & DETAILS.
2. CONSTRUCTION SHOP DRAWINGS FOR ALL MATERIALS MUST BE APPROVED OF BY HIGHWAY DEPARTMENT.
3. ALL DISTURBED AREAS SHALL BE COVERED WITH A MINIMUM OF 6" OF PLANTABLE SOIL BORROW AND SEED.
4. LOCATIONS OF UTILITIES SHOWN HEREON ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY, PLANS OF RECORD, AND OTHER AVAILABLE SOURCES. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATIONS OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED.
5. THE CONTRACTOR SHOULD VERIFY THE EXISTING CONDITIONS TO HIS SATISFACTION PRIOR TO BEGINNING ANY EXCAVATION. "DIG SAFE" SHALL BE NOTIFIED AT LEAST 72 HOURS PRIOR TO BEGINNING ANY WORK.
6. ALL SLOPES INDICATED FOR PROPOSED PIPES ARE FT/FT.
7. ALL PROPOSED CATCH BASINS SHALL BE HOODED AND HAVE 4' SUMPS.
8. THE ENTIRE AREA WITHIN THE RIGHT-OF-WAY LINES EXCEPT FOR TREES INTENDED TO BE PRESERVED SHALL BE CLEARED AND GRUBBED OF ALL STUMPS, BRUSH, ROOTS, AND LIKE MATERIAL. ALL ROCK OR MASONRY WITH A MAXIMUM DIMENSION OVER THREE INCHES AND WITHIN SIX INCHES OF THE TOP OF SUBGRADE SHALL BE REMOVED. TREES INTENDED TO BE PRESERVED SHALL BE PROTECTED BY SUITABLE BOXES, FENDERS, OR WELLS AS APPROPRIATE.
9. ALL TOPSOIL, DEFINED AS FERTILE, FRIABLE, NATURAL MATERIAL WHICH HAS DEMONSTRATED VEGETATIVE GROWTH, SHALL BE REMOVED WITHIN THE RIGHT-OF-WAY, FOR USE WITHIN THE SITE.
10. IN CUT AREAS, ALL UNSUITABLE MATERIAL SUCH AS PEAT, AND HIGHLY ORGANIC SILT OR CLAY OR ANY OTHER MATERIAL THAT, IN THE OPINION OF THE SUPERINTENDENT OF ROADS IS CONSIDERED TO BE DETRIMENTAL TO THE SUBGRADE, SHALL BE REMOVED AND REPLACED WITH ORDINARY BORROW CONFORMING TO M1.03.0 OF THE STANDARD SPECIFICATIONS. TYPE A SHALL BE USED WITHIN TWELVE INCHES OF THE TOP OF SUBGRADE AND TYPE B ABOVE, PLACED IN 12-INCH LOOSE LIFTS AND COMPACTED TO 95 PERCENT OF MAXIMUM DENSITY AS DETERMINED BY ASTM DESIGNATION 1557-70 METHOD D.
11. IN FILL AREAS, THE EMBANKMENT SHALL BE ORDINARY BORROW SPECIFIED AND PLACED AS IN (10) ABOVE.
12. THE SUBGRADE SHALL BE SHAPED TO A TRUE SURFACE CONFORMING TO THE LINES AND GRADES INDICATED ON THE APPROVED DEFINITIVE PLAN (CROSS SECTION AND PROFILE) AND WHERE ORIGINAL GROUND, SHALL BE COMPACTED TO 90 PERCENT, AS DEFINED IN (10) ABOVE, TO A DEPTH OF SIX INCHES. A TOLERANCE OF 1/2 INCH ABOVE OR BELOW FINISHED SUBGRADE WILL BE PERMITTED PROVIDED THIS DIFFERENCE IS NOT MAINTAINED OVER FIFTY FEET AND THE REQUIRED CROWN (CROSS SLOPE) IS MAINTAINED.
13. ALL PIPE INSTALLATIONS WILL REQUIRE 6 INCHES OF SUITABLE BEDDING MATERIAL, APPROVED BY THE TOWN ENGINEER, BETWEEN THE BOTTOM OF THE PIPE AND LEDGE.
14. ROADWAY AND DISTURBED AREAS SHALL BE STABILIZED WITH GROUND COVER PRIOR TO INFILTRATION BASIN EXCAVATION TO FINAL GRADES.
15. CONTRACTORS CONDUCTING LOT DEVELOPMENT SHALL PROTECT BERMS FROM DAMAGE DURING LOT CONSTRUCTION ACTIVITIES.

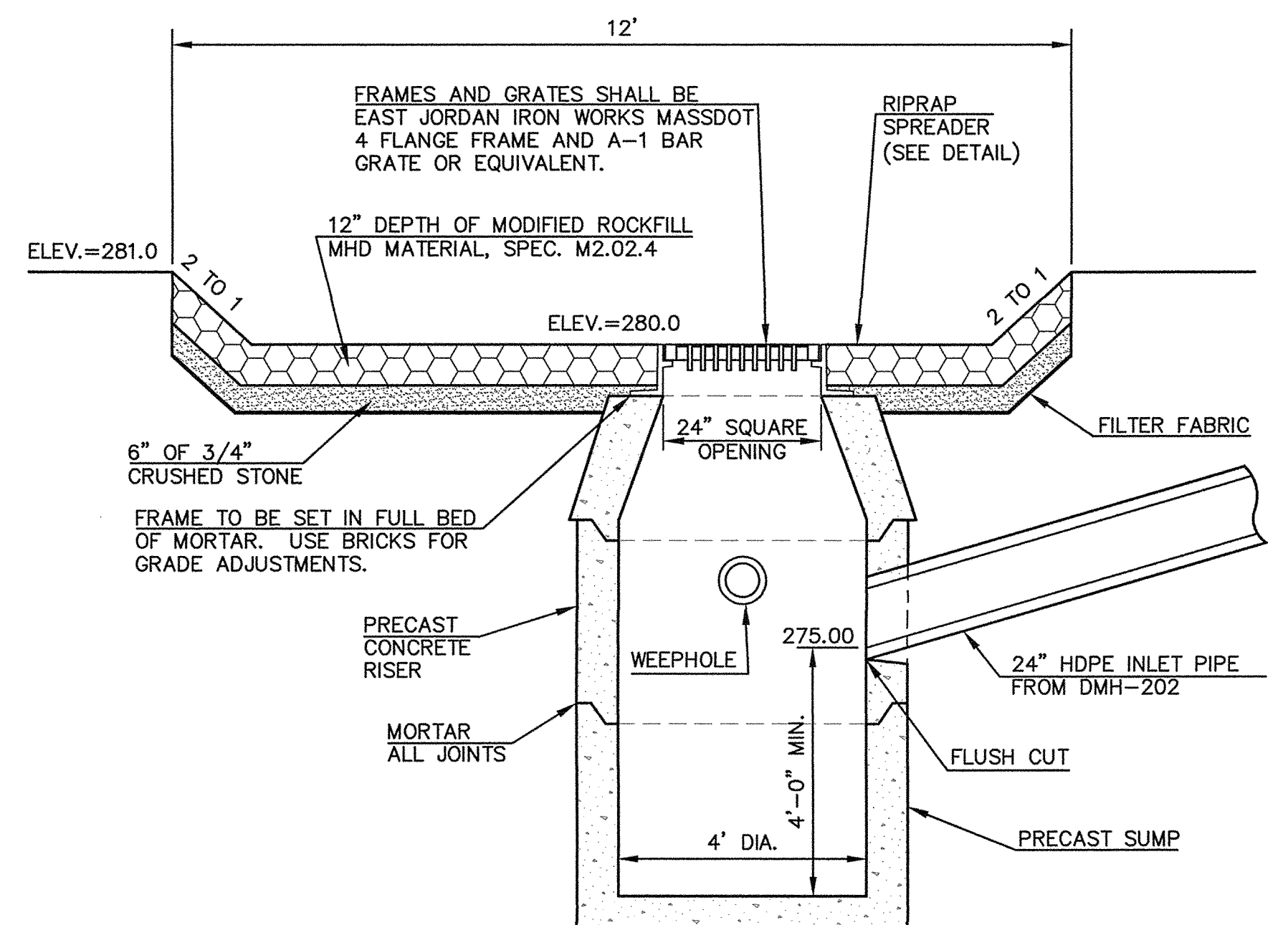


**PAVEMENT PATCH**  
N.T.S.

1. PAVEMENT PATCHING WITHIN THE PUBLIC WAY SHALL BE THE SAME PAVEMENT MATERIALS AND THICKNESS AS EXISTING AT A MINIMUM.
2. ALL EXCAVATIONS WITHIN THE PUBLIC WAY SHALL BE BACKFILLED AND MECHANICALLY COMPACTED TO OBTAIN 95% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM STANDARD D698, METHOD C AND AMENDMENTS THERETO.



**TRENCH DETAIL**  
N.T.S.

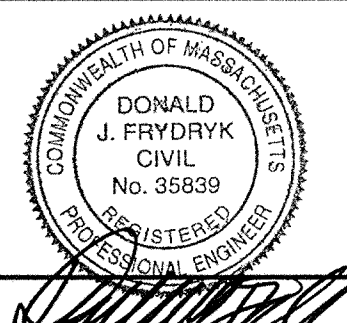


**STILLING WELL - CB 203**  
N.T.S.

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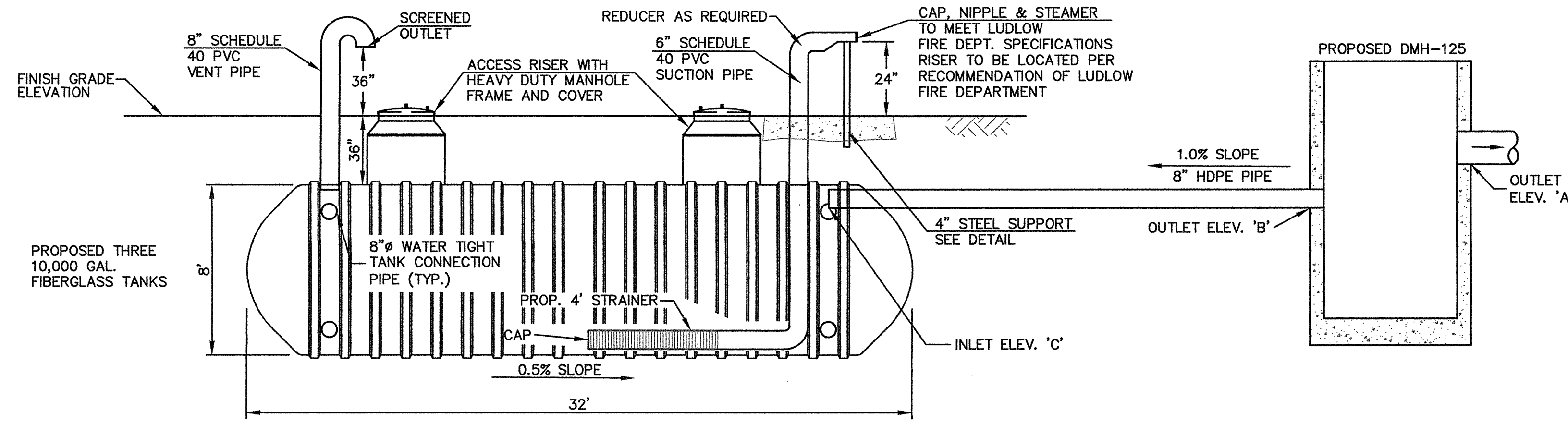
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**DETAILS**

**TWIN PEAK SUMMIT  
DEFINITIVE SUBDIVISION PLAN  
MILLER STREET  
LUDLOW, MA**

PROJECT NUMBER  
05280B  
SHEET NUMBER  
**18 OF 21**

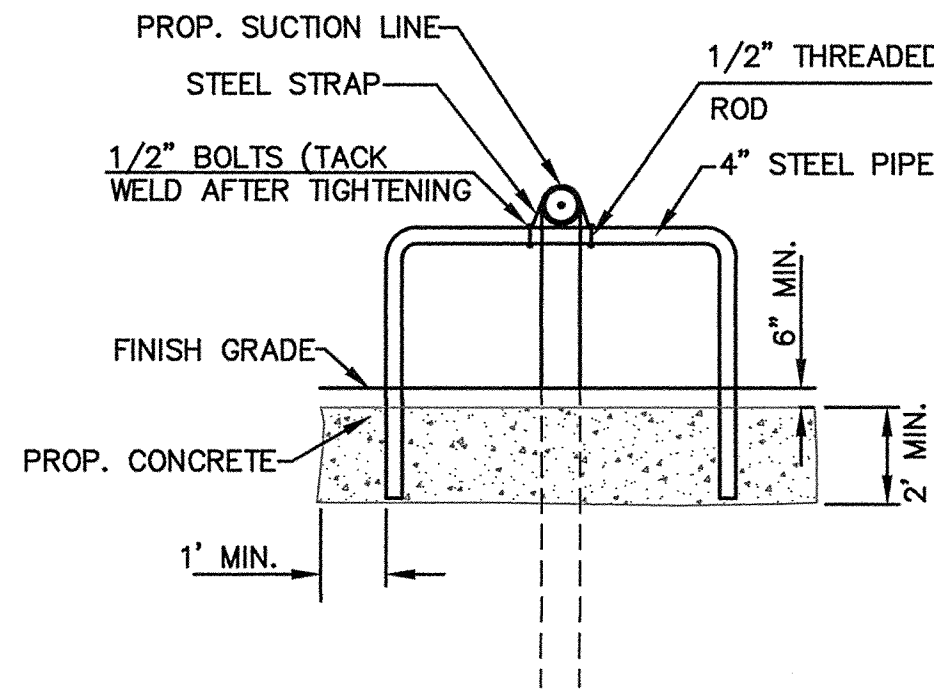




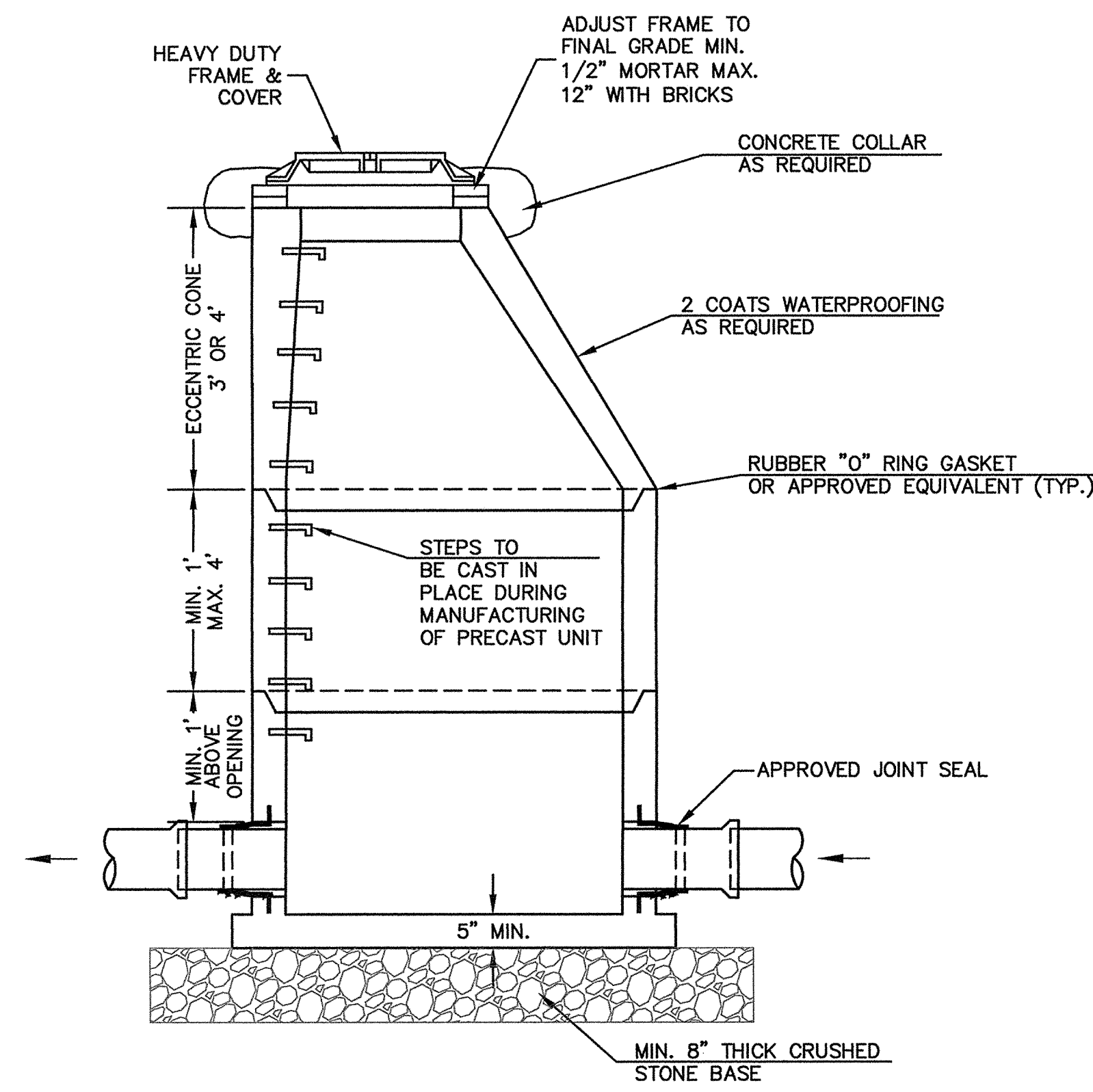
- NOTES:
1. ALL EXPOSED SURFACES OF HYDRANT AND SUPPORT SHALL BE PAINTED (2 COATS MIN.) WITH FIRE ENGINE RED ENAMEL.
  2. MECHANICAL WATER LEVEL INDICATOR SHALL BE PROVIDED TO INDICATE FULL, EMPTY, 1/4 FULL, 1/2 FULL, 3/4 FULL.
  3. WATER LEVEL INDICATOR SHALL BE CONSTRUCTED WITH SCHEDULE 40 PVC MINIMUM AND BE LOCATED WITHIN 30' OF ROADWAY.

FINISH GRADE	ELEVATION
FINISH GRADE	445.00
OUTLET A	442.80
OUTLET B	442.00
INLET C	441.00

**FIRE PROTECTION STORAGE TANK**  
N.T.S.



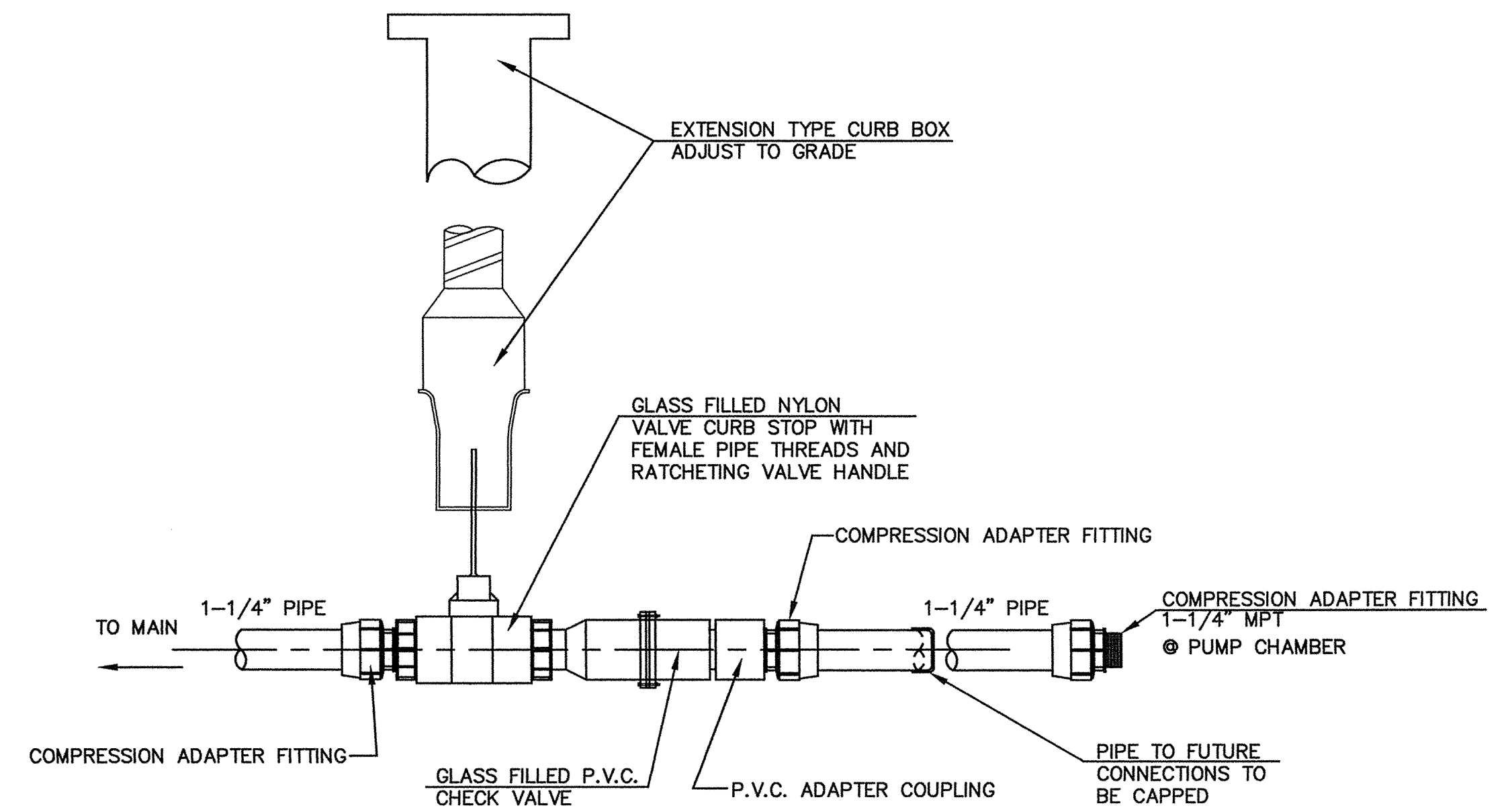
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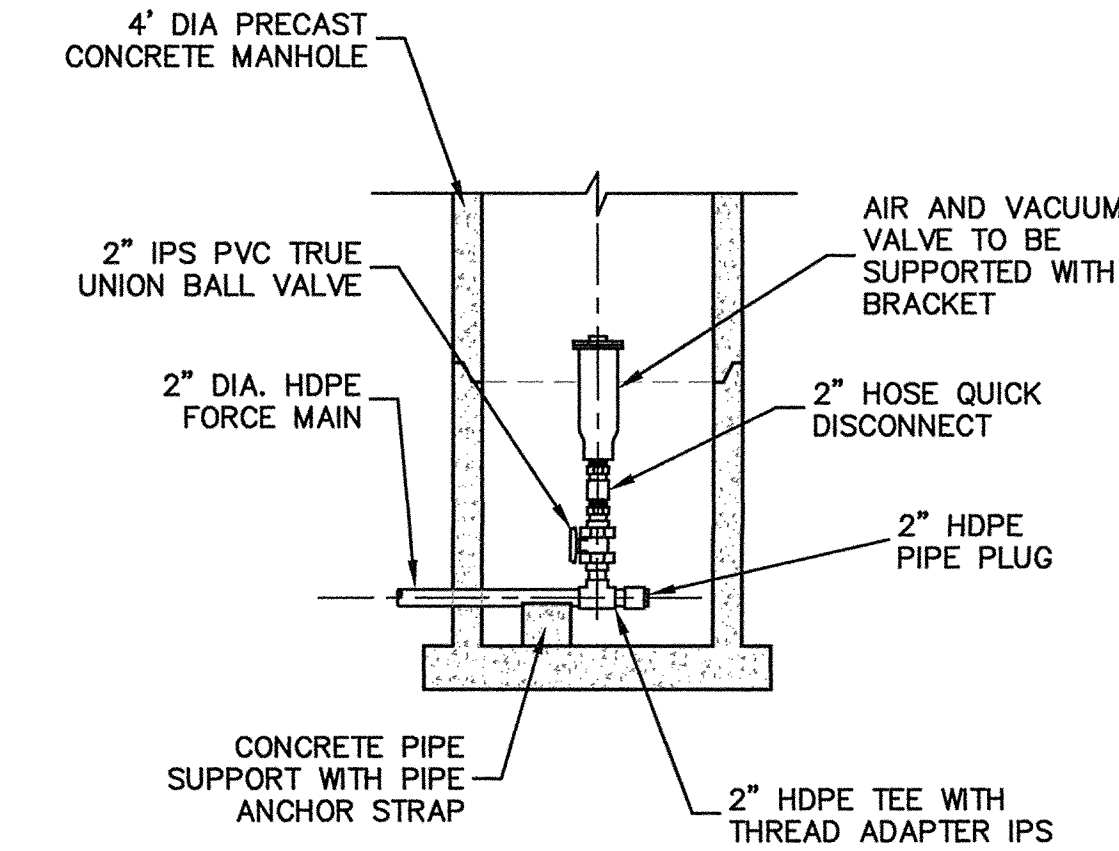
**PRECAST SANITARY MANHOLE**  
N.T.S.

**PROJECT SEWAGE VOLUMES**

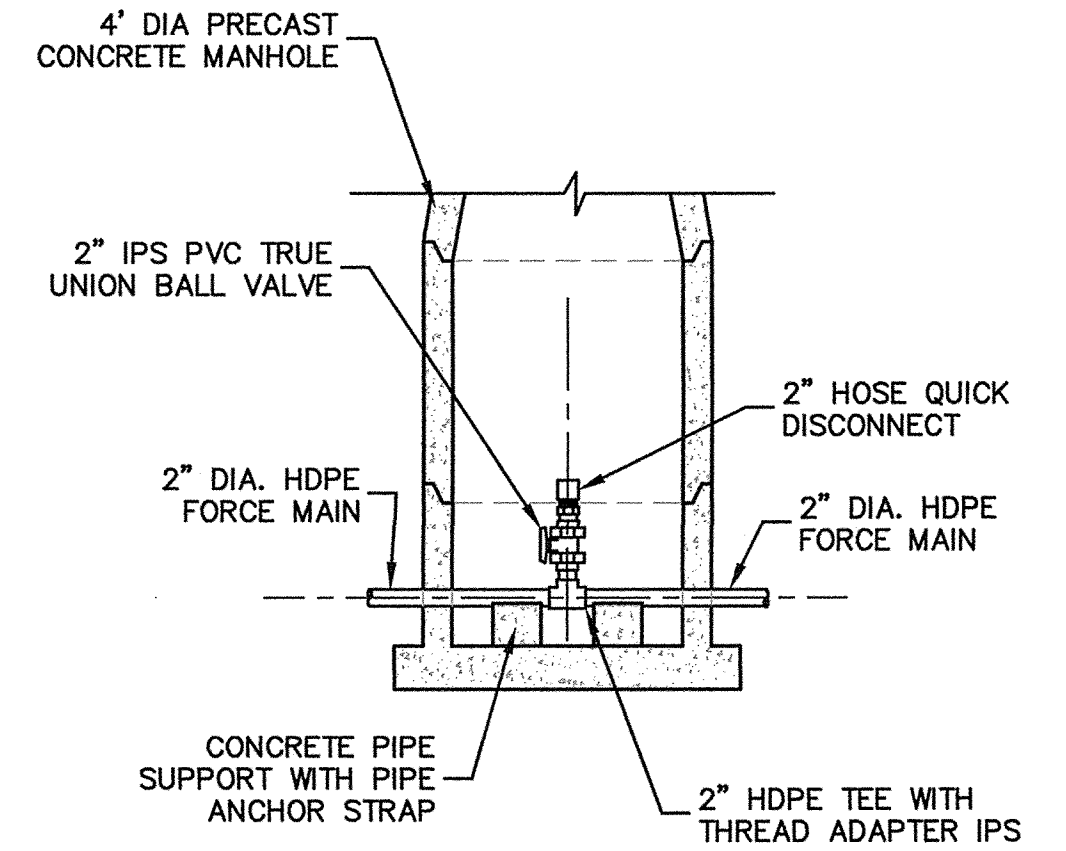
NUMBER OF BEDROOMS (19 UNITS @ 3 BEDROOMS)	60 BEDROOMS
AVERAGE DAILY FLOW PER BEDROOM (310 CMR 15.203)	110 GALLONS PER BEDROOM
AVERAGE DAILY FLOW GALLONS PER DAY (GPD) BASED ON REGULATIONS	6,600 GPD
FOR DESIGN, ESTIMATED FLOW FROM REGULATIONS:	
GALLONS PER MINUTE (6,600 GPD/720)=	9.2 GPM
AVERAGE DAILY FLOW	PEAK FACTOR OF 6
MULTIPLY BY PEAK FACTOR	55 GPM
PEAK FLOW	



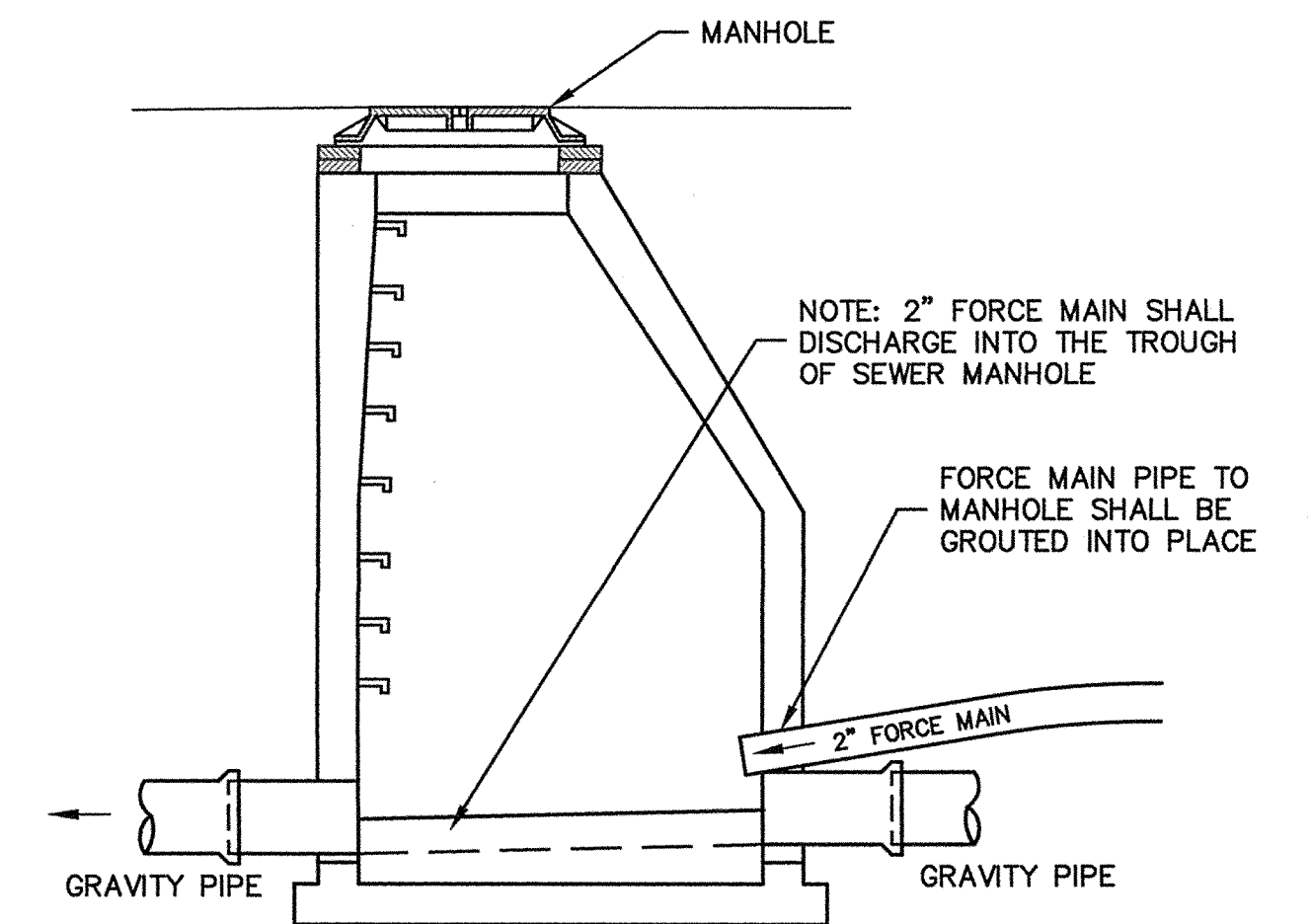
**LOW PRESSURE SEWER LATERAL DETAIL**  
N.T.S.



**TERMINAL FLUSHING M.H. DETAIL**  
N.T.S.



**IN-LINE FLUSHING M.H. DETAIL**  
N.T.S.

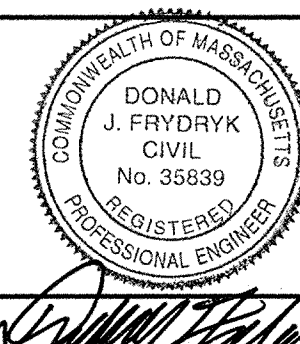


**SEWER CONNECTION DETAIL**  
N.T.S.

NO.	DATE	BY	REVISIONS

**SHERMAN & FRYDRYK, LLC**  
Land Surveying and Engineering  
3 Converse Street, Suite 203  
Palmer, MA 01069

DESIGN: KTT, GAB  
DRAFTING: KTT, GAB  
CHECKED: KTT  
APPROVED: DJF



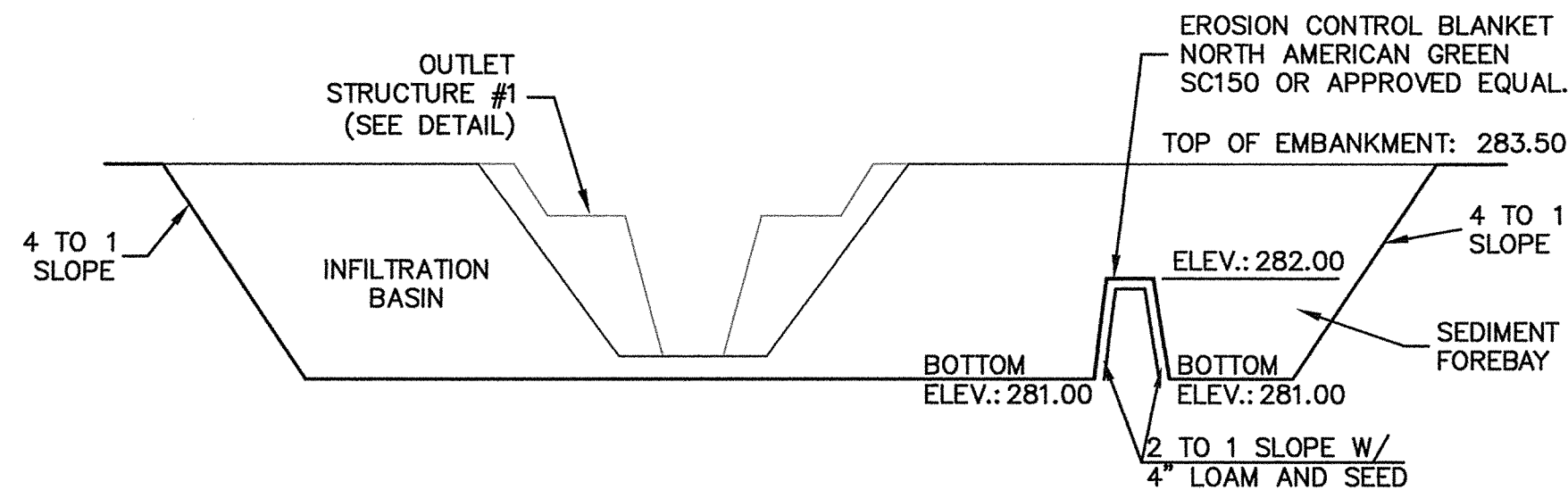
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HORZ: AS NOTED  
VERT: N/A  
DATE: 12/14/20

**DETAILS**

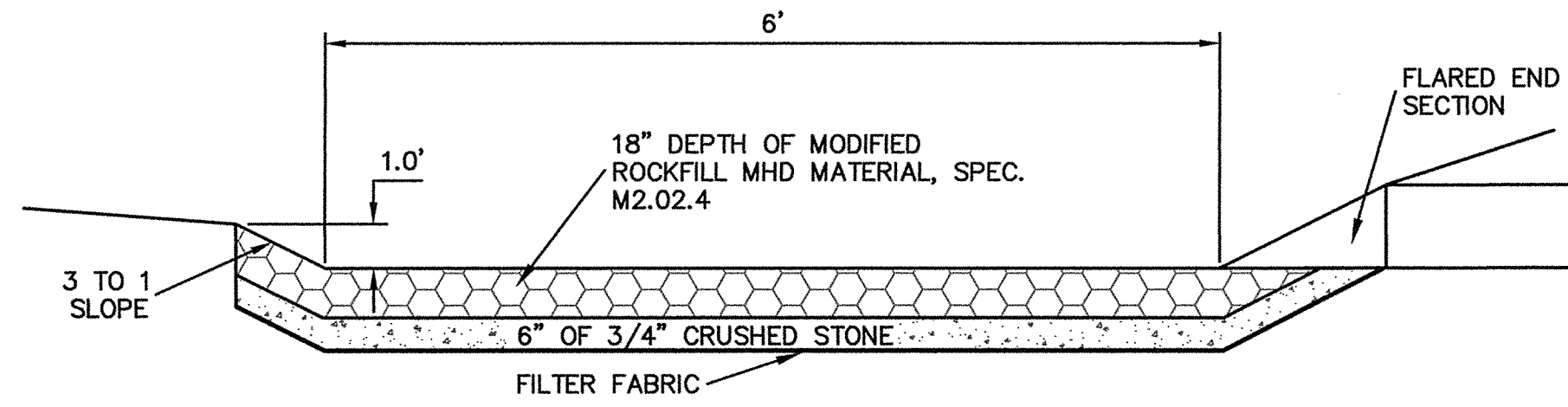
**TWIM PEAK SUMMIT**  
**DEFINITIVE SUBDIVISION PLAN**  
MILLER STREET  
LUDLOW, MA

**PROJECT NUMBER**  
052808  
**SHEET NUMBER**  
19 OF 21

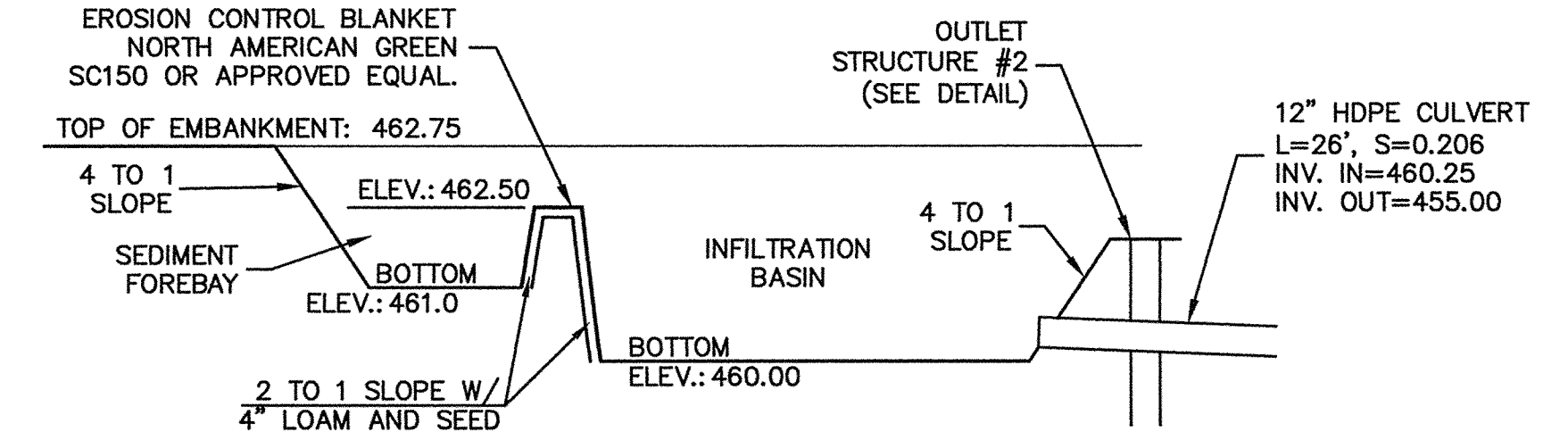




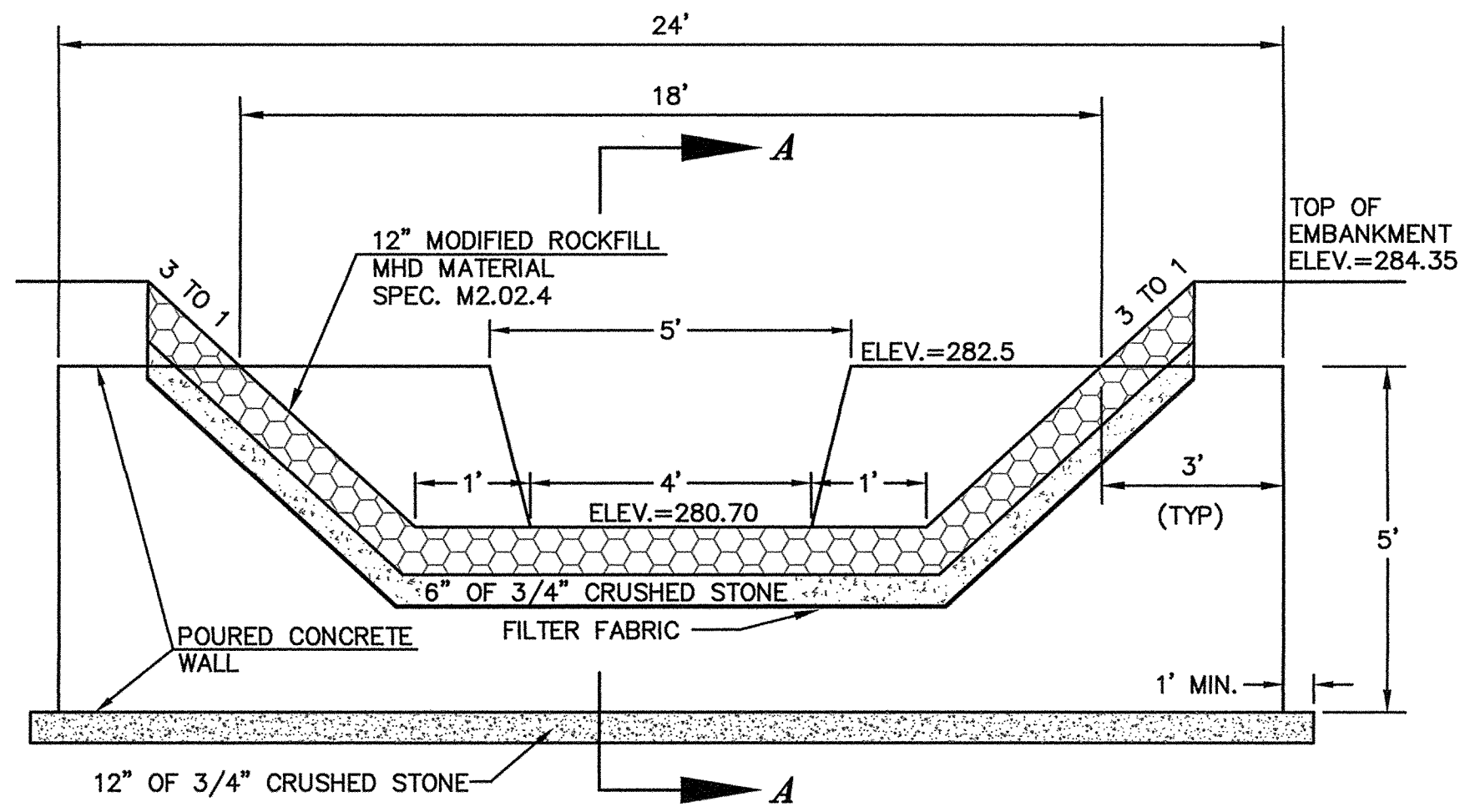
**INFILTRATION BASIN #1 SECTION DETAIL**  
N.T.S.



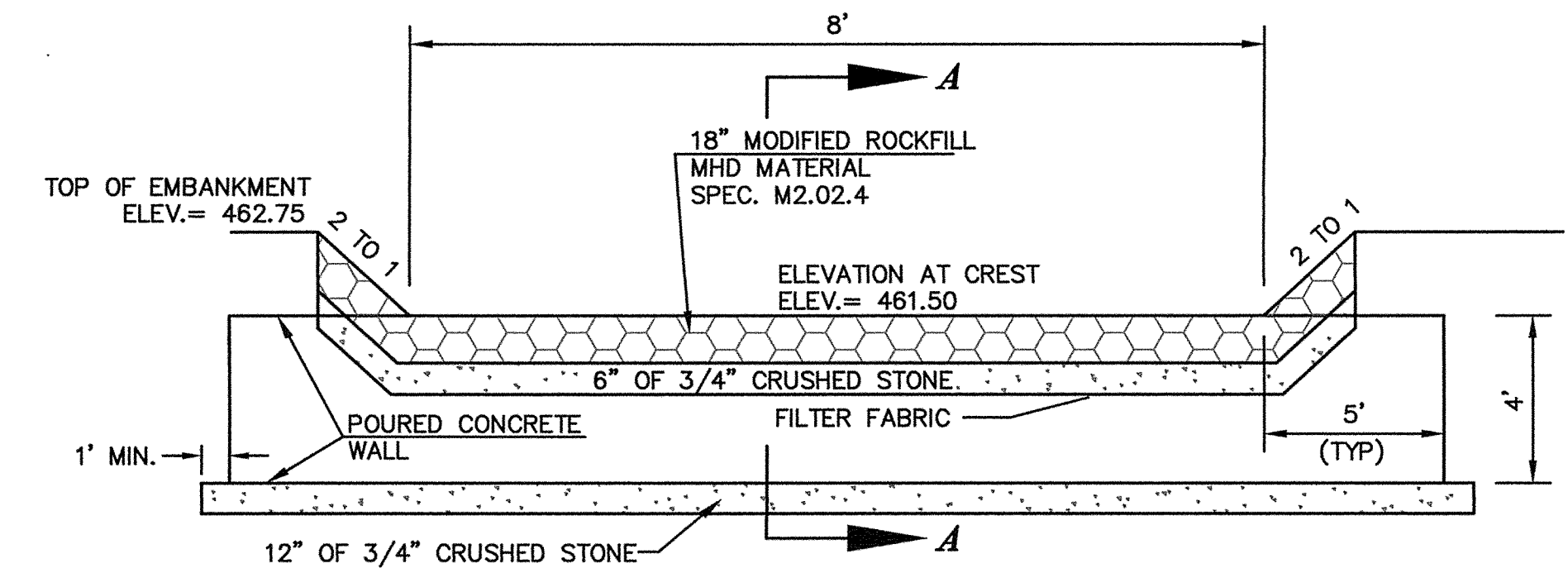
**RIPRAP INLET PAD**  
N.T.S.



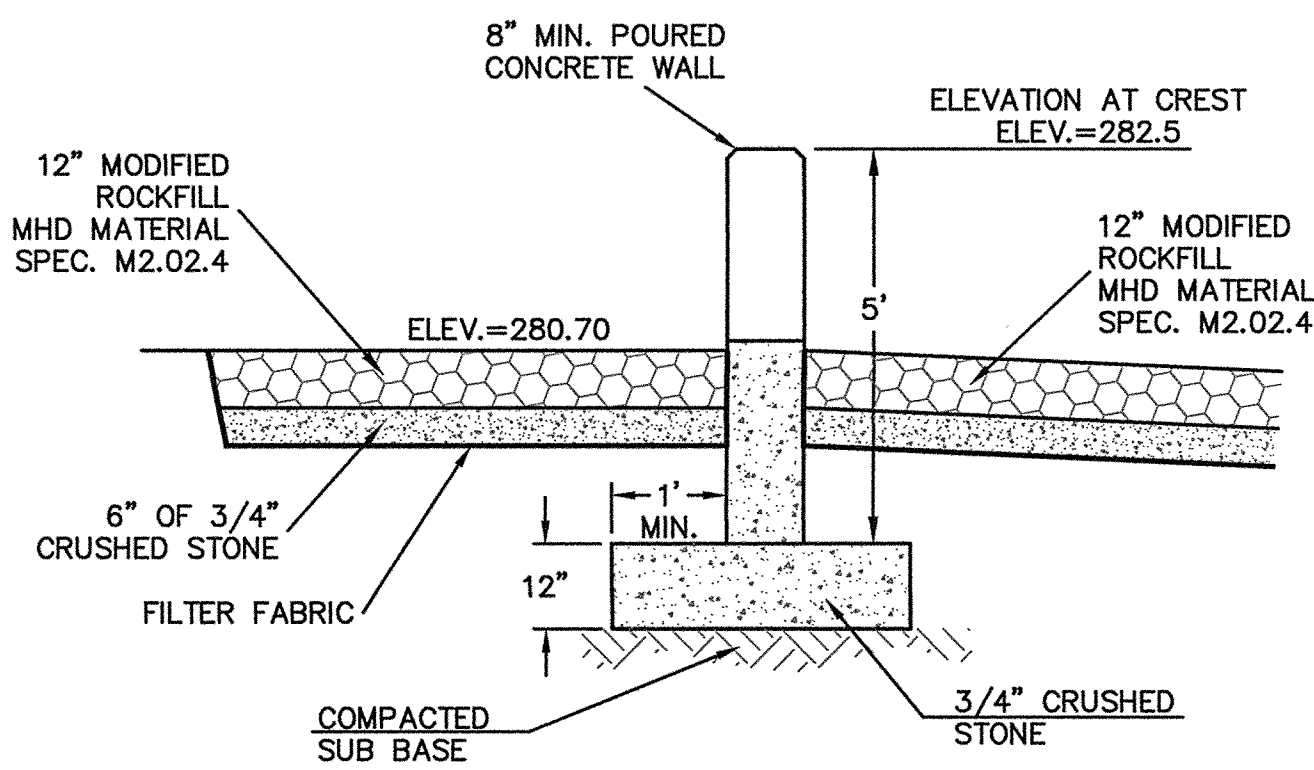
**INFILTRATION BASIN #2 SECTION DETAIL**  
N.T.S.



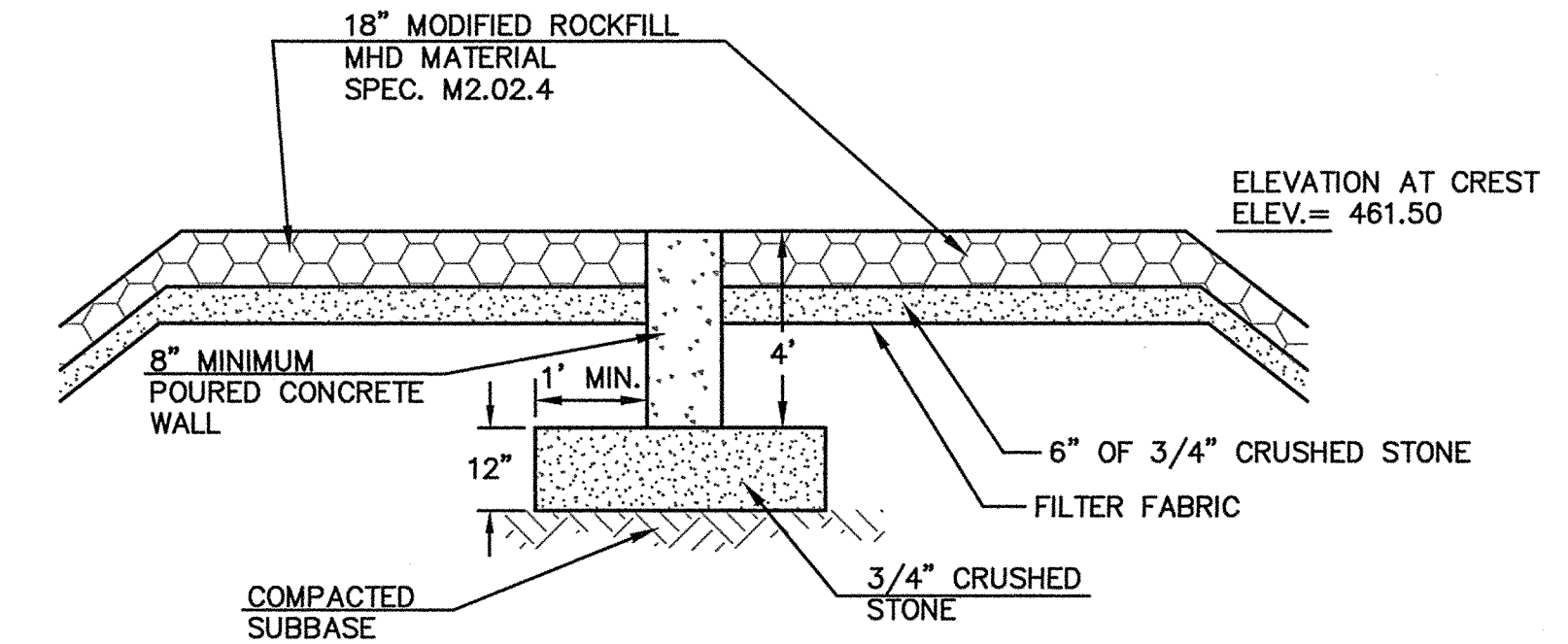
**OUTLET CONTROL STRUCTURE #1**  
N.T.S.



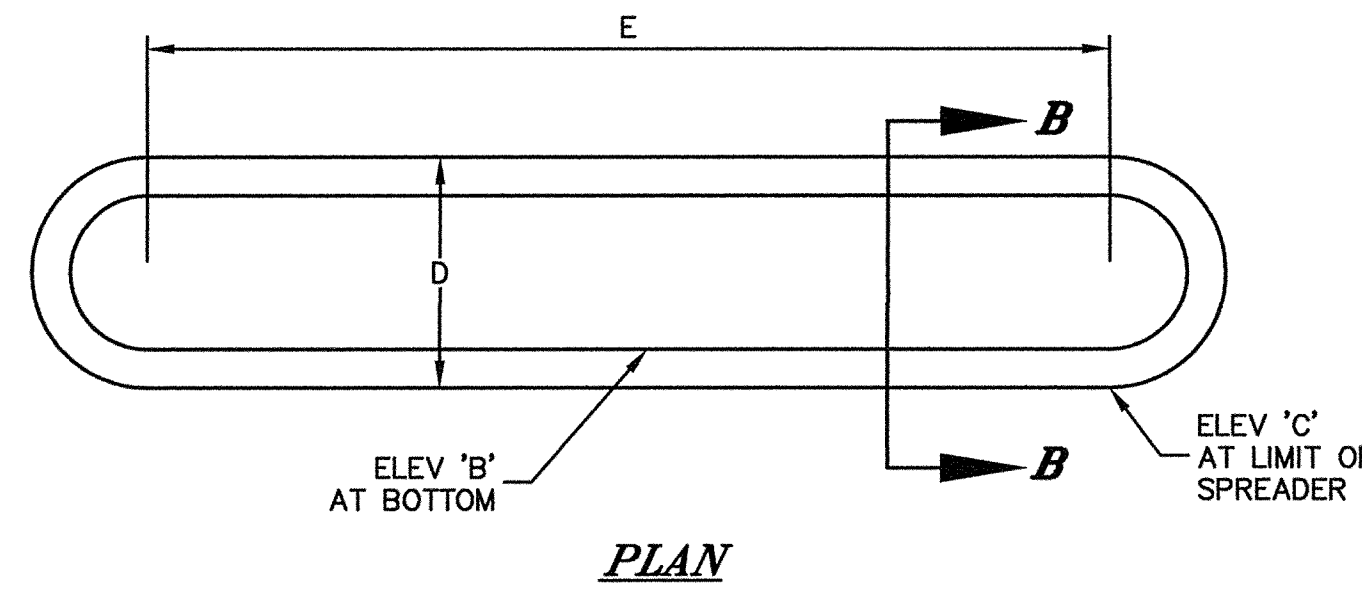
**OUTLET CONTROL STRUCTURE #2**  
N.T.S.



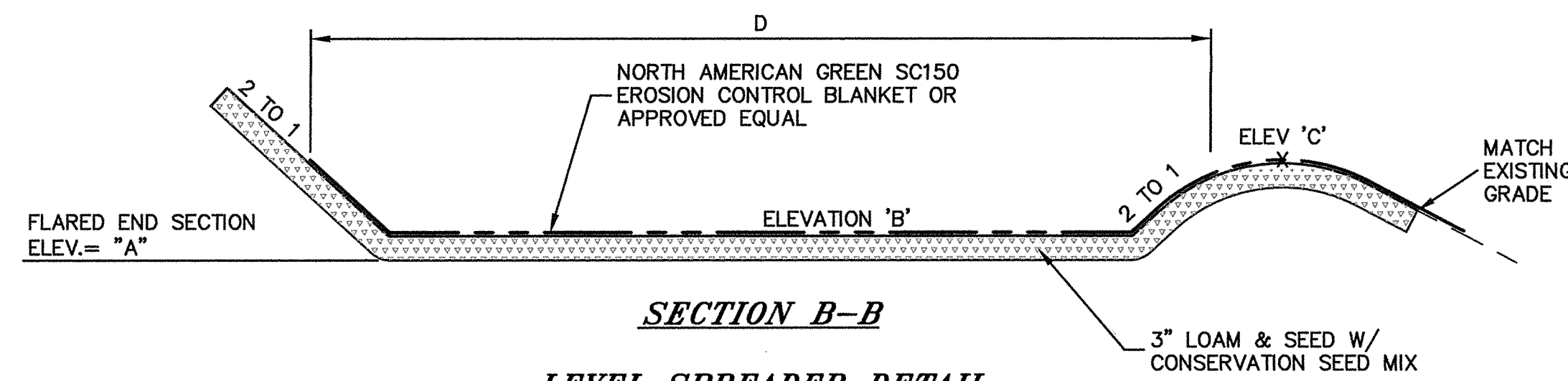
**OUTLET CONTROL STRUCTURE #1 SECTION A-A**  
N.T.S.



**OUTLET CONTROL STRUCTURE #2 SECTION A-A**  
N.T.S.

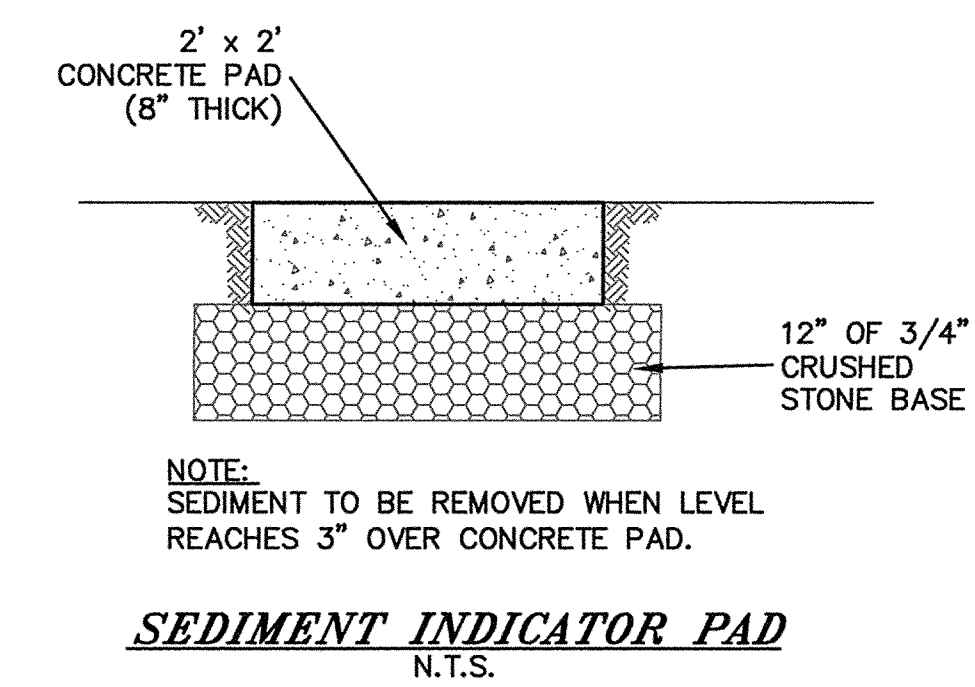


**PLAN**



**SECTION B-B**  
**LEVEL SPREADER DETAIL**  
N.T.S.

LEVEL SPREADER ELEVATION TABLE					
LEVEL SPREADER #	ELEVATION			DIMENSION	
	A	B	C	D	E
1	N.A.	279.00	280.00	10'	30'
2	455.00	455.00	456.00	5'	20'

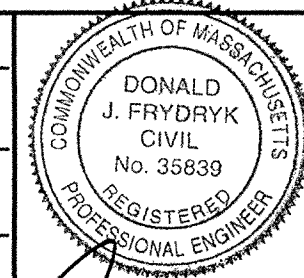


**SEDIMENT INDICATOR PAD**  
N.T.S.

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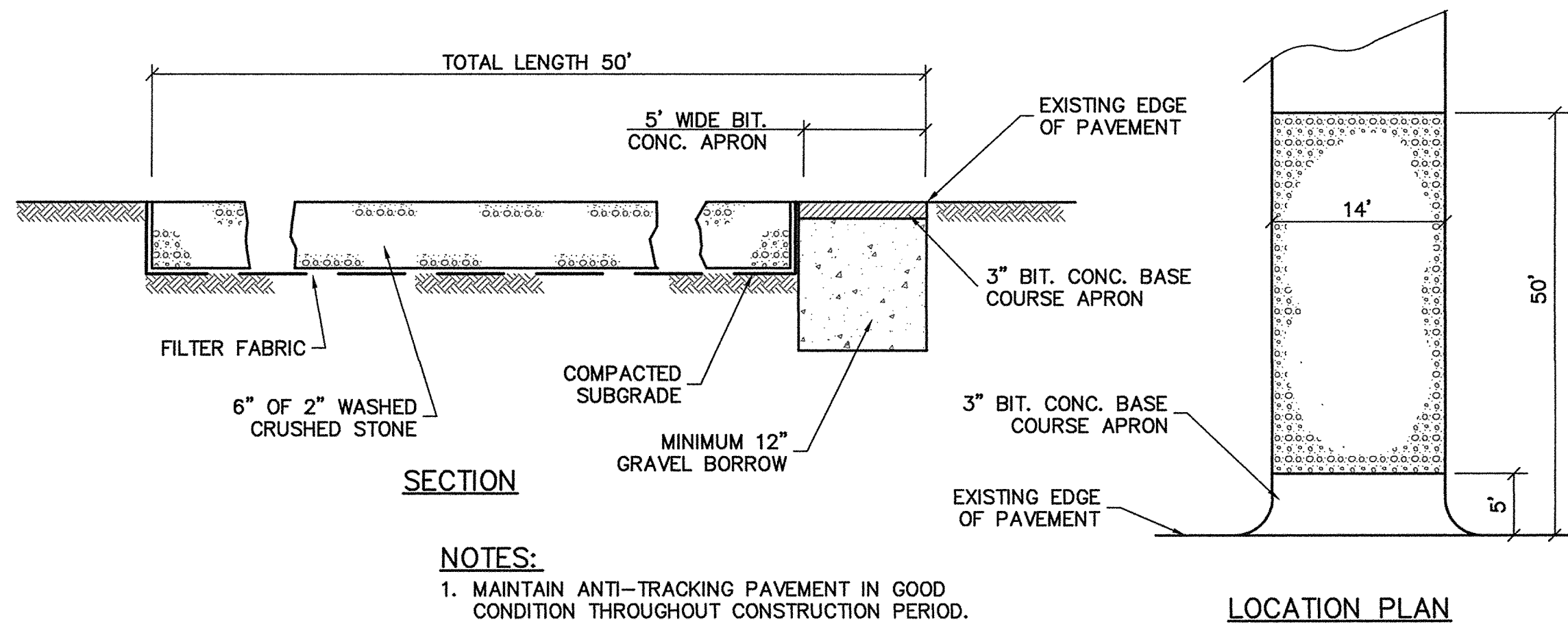
SCALE:  
HORZ: AS NOTED  
VERT: N/A  
DATE: 12/14/20

**DETAILS**

**TWIN PEAK SUMMIT**  
**DEFINITIVE SUBDIVISION PLAN**  
MILLER STREET  
LUDLOW, MA

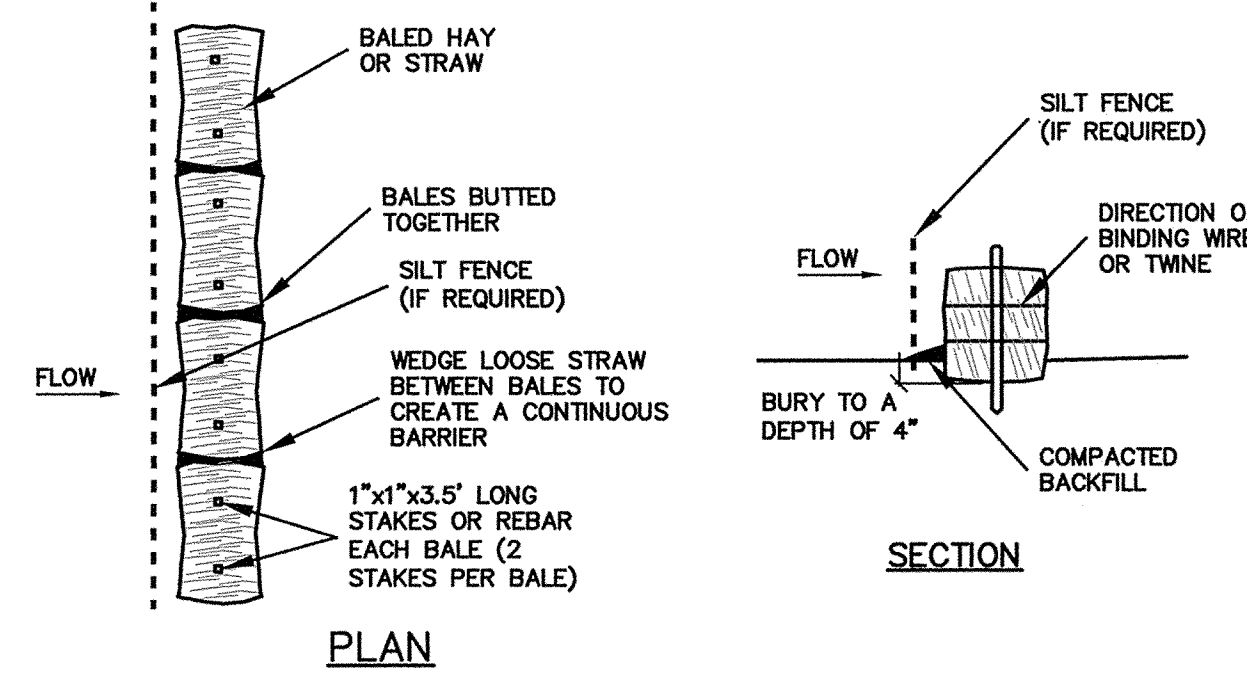
PROJECT NUMBER  
05280B  
SHEET NUMBER  
**20 OF 21**



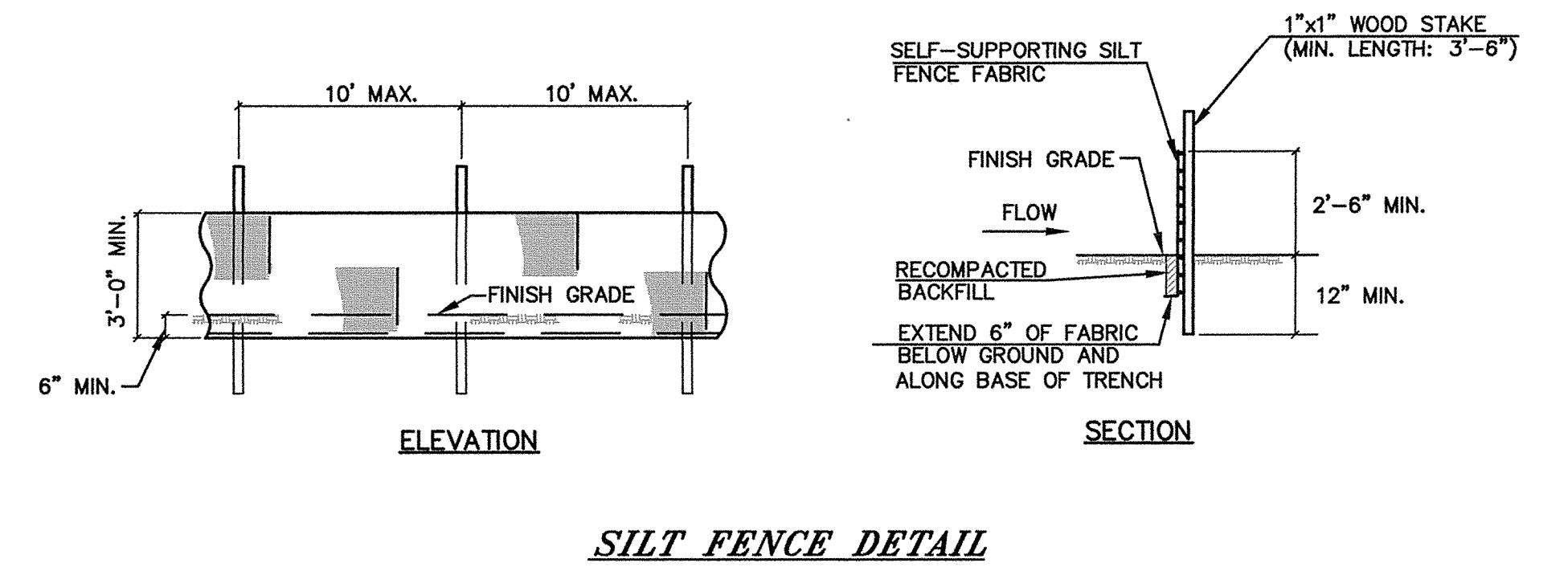


**NOTES:**  
1. MAINTAIN ANTI-TRACKING PAVEMENT IN GOOD CONDITION THROUGHOUT CONSTRUCTION PERIOD.

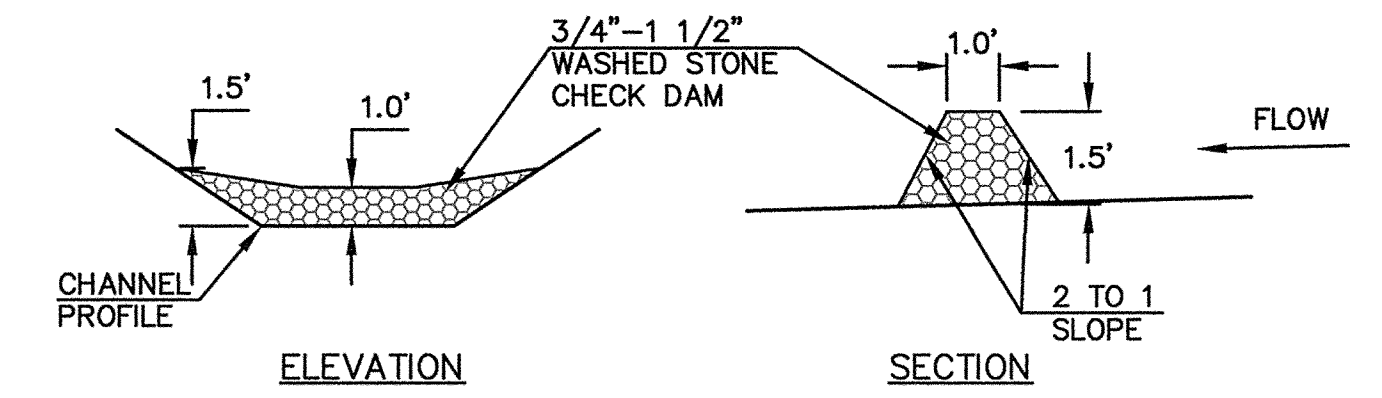
**ANTI-TRACKING PAD**  
N.T.S.



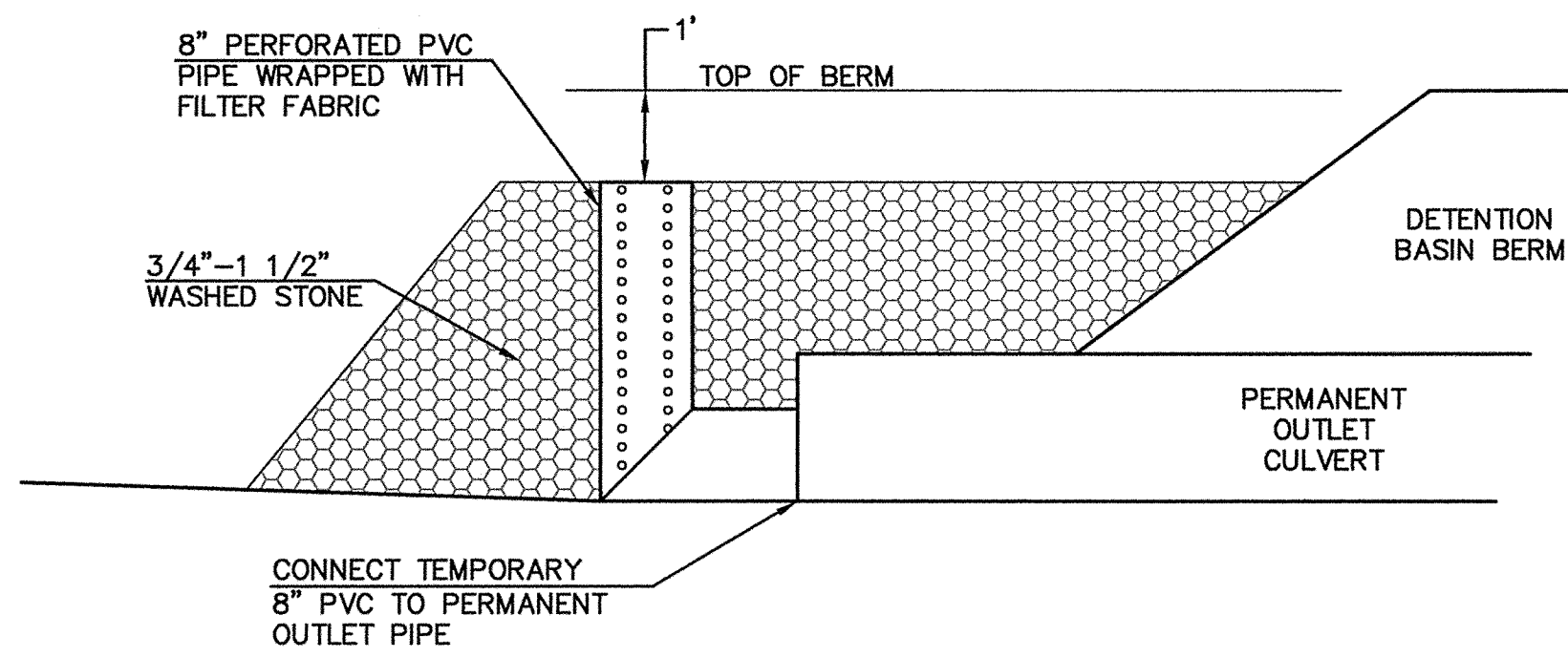
**HAY BALE DETAIL**  
N.T.S.



**SILT FENCE DETAIL**  
N.T.S.



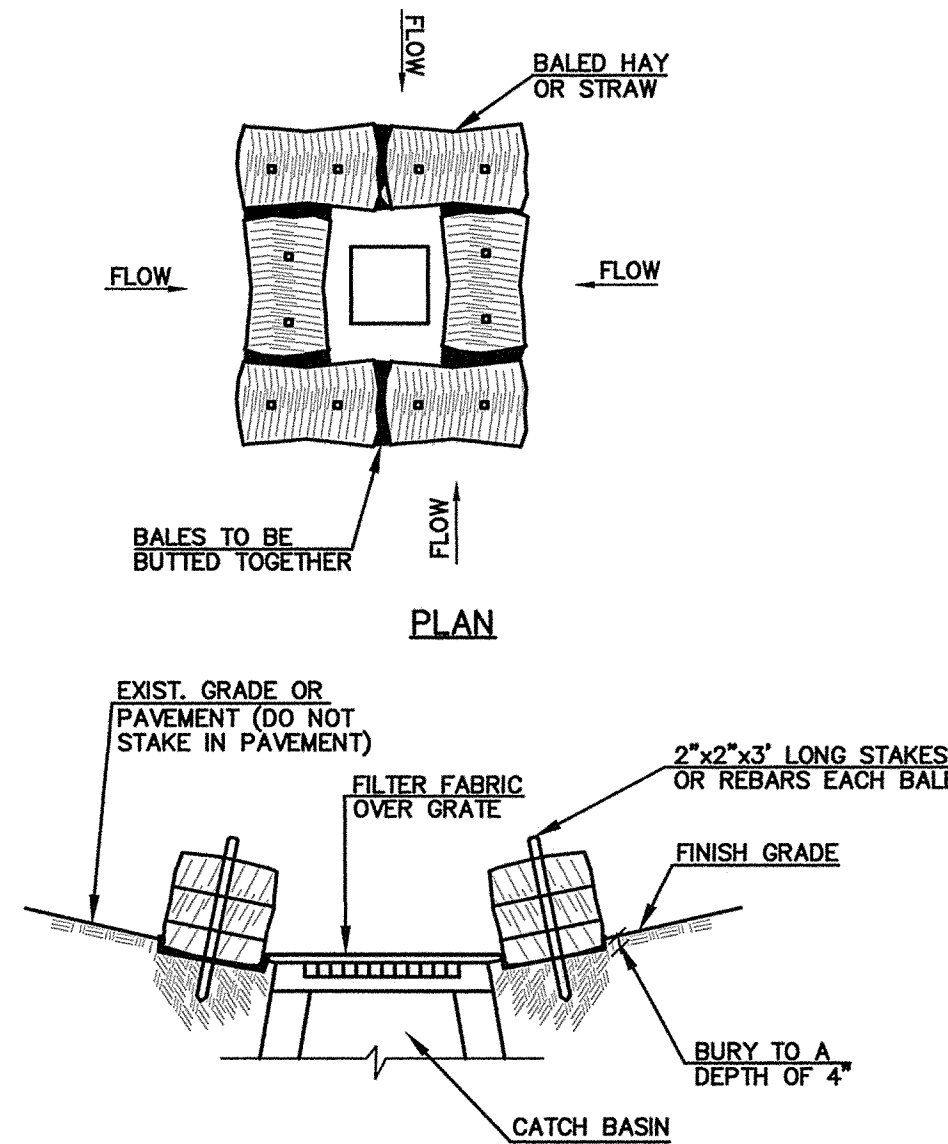
**CHECK DAM**  
N.T.S.



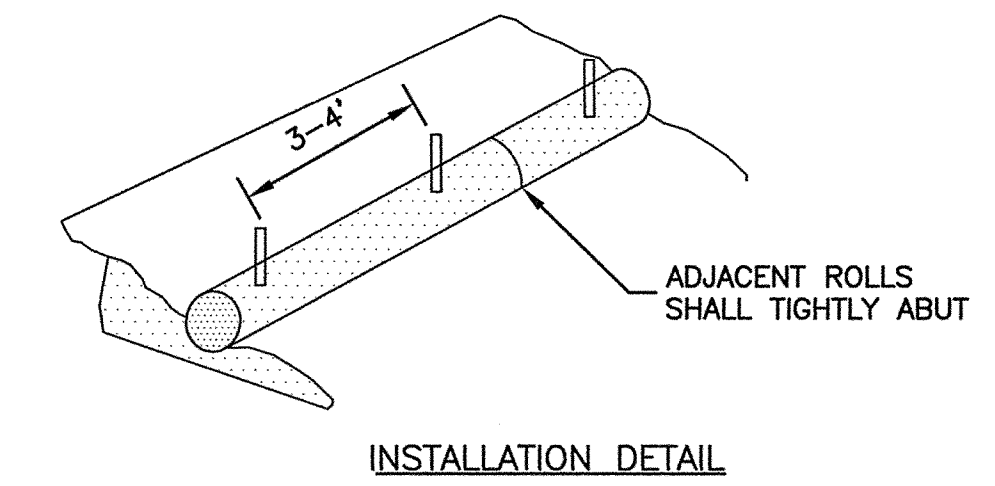
**NOTE:**  
IT IS THE CONTRACTOR'S RESPONSIBILITY THAT NO SEDIMENTS ARE ALLOWED TO DISCHARGE OUT OF THE BASINS. THE CONTRACTOR SHALL ROUTINELY INSPECT AND MAINTAIN THIS TEMPORARY OUTLET SO THAT IT REMAINS IN GOOD WORKING ORDER. THE CONTRACTOR SHALL REPLACE THE WASHED STONE IF OUTLET BECOMES CLOGGED WITH SEDIMENT.

**FOR PERMANENT CONDITIONS:**  
CONTRACTOR SHALL REMOVE WASHED STONE, VERTICAL SECTIONS OF PERFORATED PVC, FILTER FABRIC AND EXTENDED SECTION OF OUTLET CULVERT AND COMPLETE CONNECTION TO OUTLET STRUCTURE.

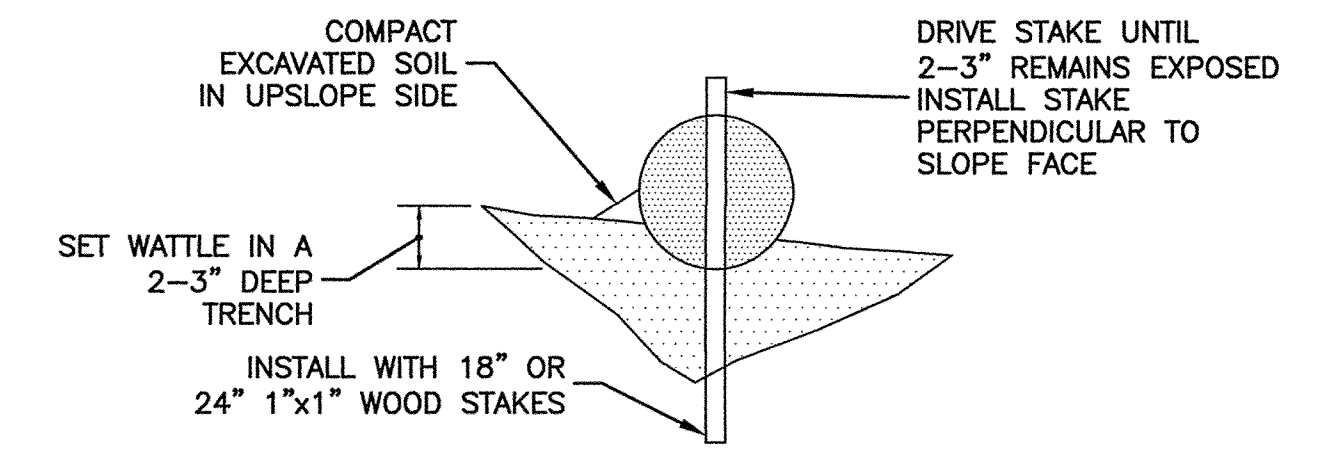
**TEMPORARY STANDPIPE DETAIL**  
N.T.S.



**SECTION AT LOW POINT INLET EROSION CONTROL**  
N.T.S.

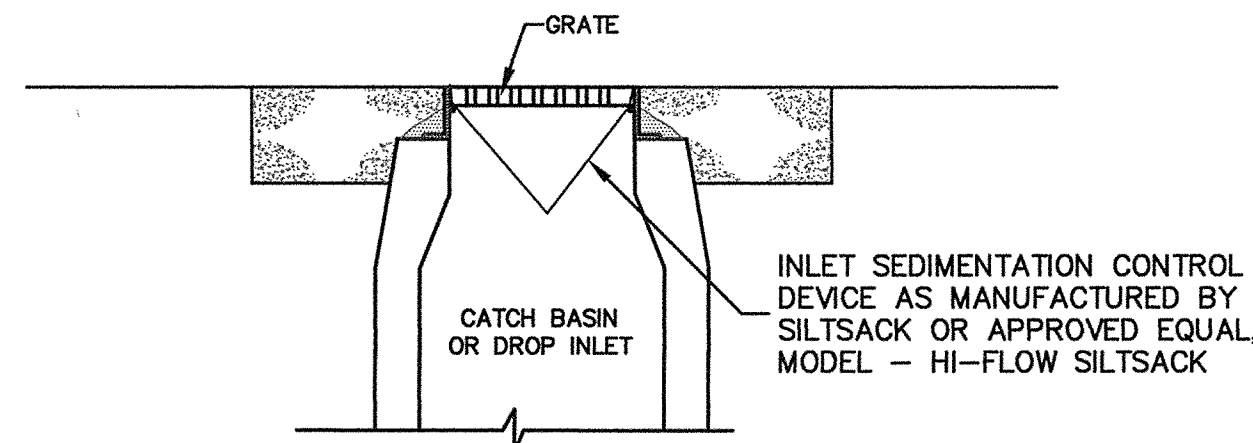


**INSTALLATION DETAIL**



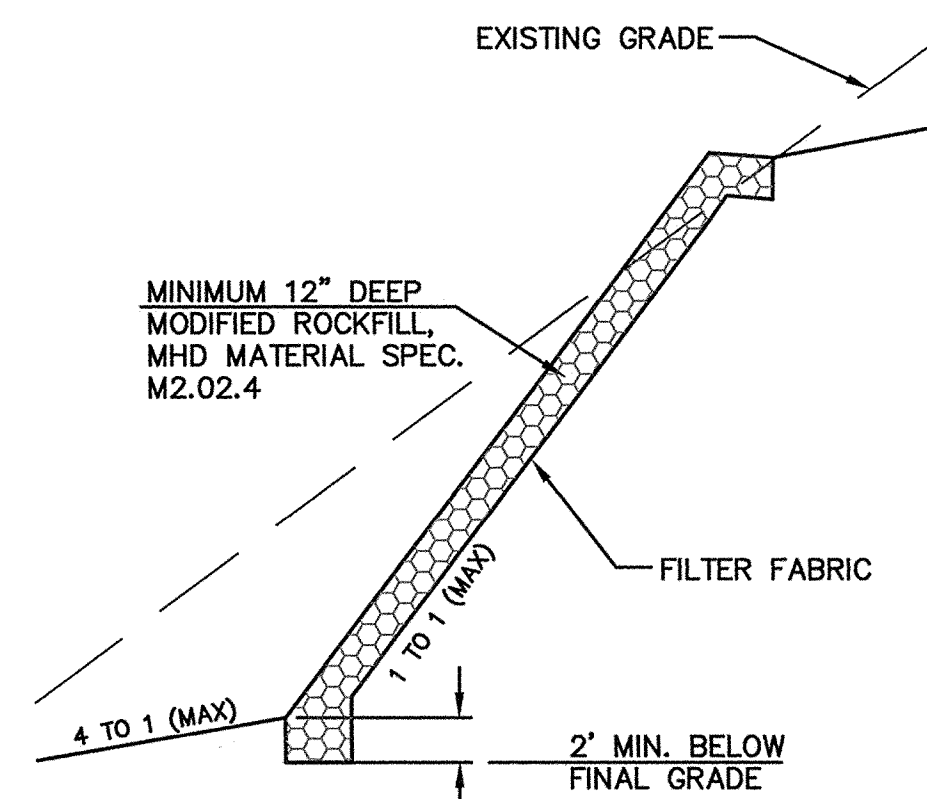
**ENTRENCHMENT DETAIL**

**WATTLE DETAIL**  
N.T.S.

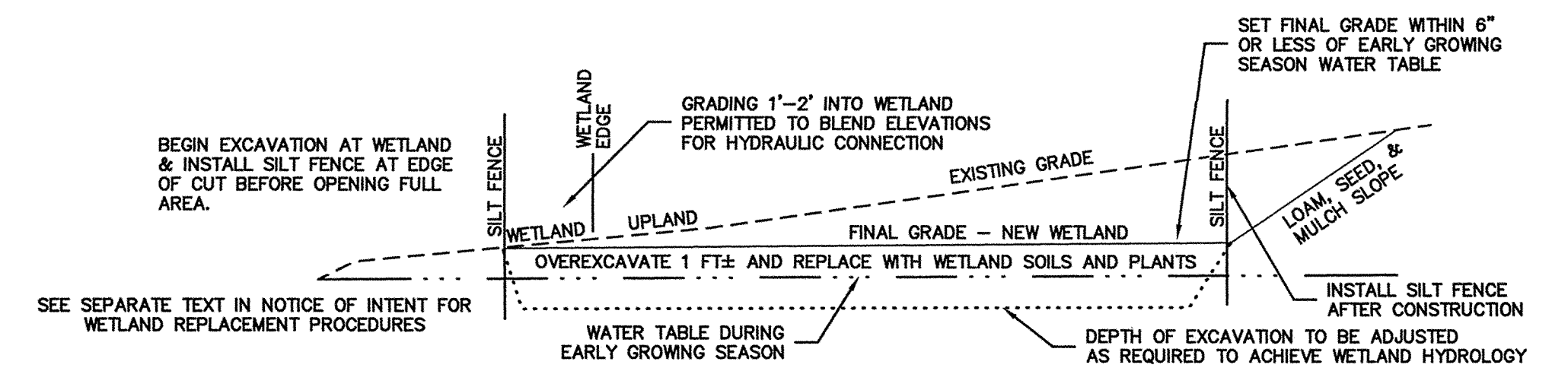


**NOTE:**  
CONTRACTOR SHALL INSTALL DEVICE AT TIME OF CONSTRUCTION OF INLETS. CONTRACTOR SHALL MONITOR DEVICE AND REPLACE DEVICE OR REMOVED SEDIMENT AS REQUIRED. UPON COMPLETION OF CONSTRUCTION AND STABILIZATION OF SITE THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL DEVICES AND INSTALL A NEW DEVICE AT EACH INLET WHICH WILL BECOME THE PROPERTY OF THE OWNER UPON ACCEPTANCE OF THE PROJECT.

**INLET SEDIMENTATION CONTROL DEVICE**  
N.T.S.



**ARMORED SLOPE DETAIL**  
N.T.S.

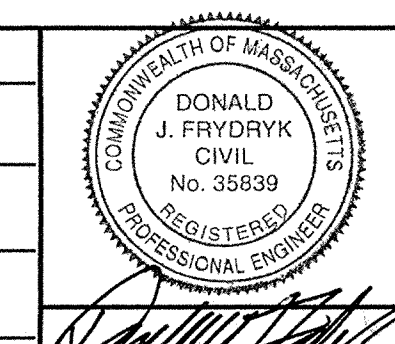


**WETLAND REPLACEMENT AREA - TYPICAL SECTION**  
N.T.S.

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*Land Surveying and Engineering*  
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**DETAILS**

**TWIN PEAK SUMMIT**  
**DEFINITIVE SUBDIVISION PLAN**  
MILLER STREET  
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