

**SITE PLAN APPROVAL  
LUDLOW PLANNING BOARD**

DATE: \_\_\_\_\_

MASSACHUSETTS MUNICIPAL  
WHOLESALE ELECTRIC COMPANY  
MAP 4 PARCEL 1

**SITE PLAN DATA**

**LOT AREA AND SITE FEATURES**

AREA OF PROPERTY: 339,012 S.F. (7.78 AC.)

LOT COVERAGE (SQUARE FEET):

	EXISTING	PROPOSED ALTERATION	UPDATED WITH NEW
PAVEMENT	131,063 S.F.	- 14,507 S.F.	116,556 S.F.
BUILDINGS	58,675 S.F.	+ 14,975 S.F.	73,650 S.F.
OPEN SPACE	149,274 S.F.	- 468 S.F.	148,806 S.F.

LOT COVERAGE (%):

	EXISTING	PROPOSED ALTERATION	UPDATED WITH NEW
PAVEMENT	38.66%	- 4.28%	34.38%
BUILDINGS	17.31%	+ 4.42%	21.73%
OPEN SPACE	44.03%	- 0.14%	43.89%

**PLANT (TREE & SHRUB) DATA**

EXISTING: 107 TREES, 70 SHRUBS (NOT INCLUDING WOODED AREAS)

EXISTING PLANTINGS TO BE IMPACTED BY PROJECT: 25 TREES, 16 SHRUBS

NEW PLANTINGS TO BE INSTALLED: 25 TREES, 18 SHRUBS

**PARKING DATA**

LIGHT MANUFACTURING AND GENERAL INDUSTRIAL USES: "1 SPACE PER 2 EMPLOYEES OF THE TWO LARGEST SHIFTS COMBINED AND CUSTOMARILY ON THE PREMISES."

MAXIMUM EMPLOYEES AT FACILITY: 40 EMPLOYEES - 20 PARKING SPACES ARE REQUIRED PER ZONING.

CURRENTLY 74 PARKING SPACES ON SITE.

**STORMWATER**

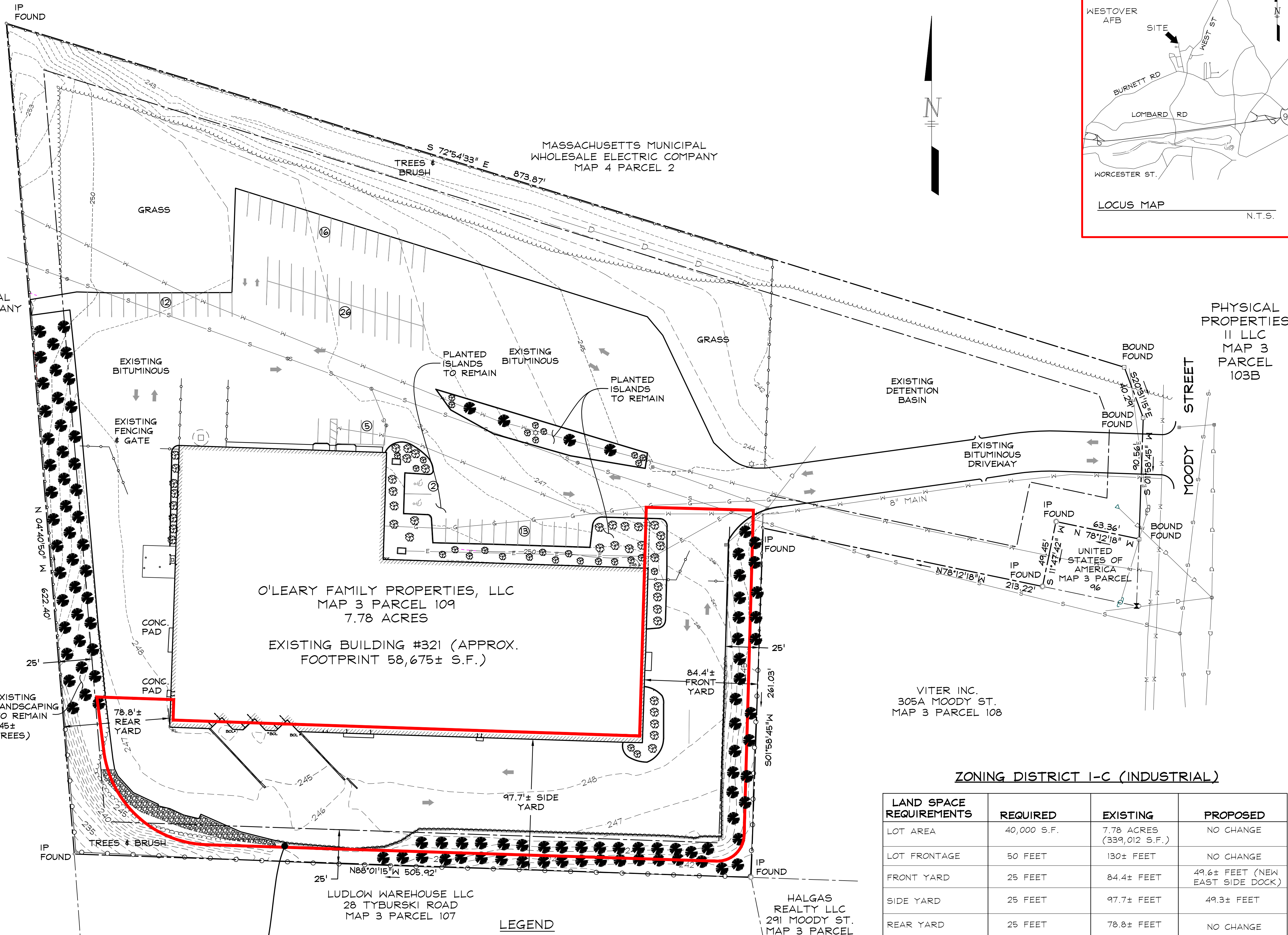
THE NEW ADDITIONS WILL BE LOCATED ALMOST ENTIRELY WITHIN EXISTING BITUMINOUS AREAS. APPROXIMATELY 468 S.F. OF PERVIOUS AREA WILL BE CONVERTED INTO NEW IMPERVIOUS AREA. LEACHING CATCH BASINS WILL INFILTRATE ROOF RUNOFF DIRECTLY AND NEW STONE SPLASH PADS, VEGETATED SWALES AND RAIN GARDENS WILL TREAT AND INFILTRATE PARKING LOT WATER. AN EMERGENCY OVERFLOW PIPE WILL CONNECT INTO THE EXISTING DRAINAGE & EVENTUALLY INTO THE EXISTING DETENTION BASIN. AT A MINIMUM THE 10-YEAR STORM WILL BE COLLECTED AND INFILTRATED.

**MISCELLANEOUS**

NO ON-SITE SLEEPING QUARTERS ARE PROVIDED. SEATING CAPACITY IS NOT APPLICABLE.

**GENERAL PLAN NOTES:**

- TOPOGRAPHIC SURVEY WAS CONDUCTED ON SEPTEMBER 4, 2020 BY HILL-ENGINEERS, ARCHITECTS, PLANNERS, INC.
- PROPERTY LINES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON AVAILABLE MONUMENTATION LOCATED IN THE FIELD, ASSESSORS MAPS AND AVAILABLE PLANS INCLUDING: PLAN OF THE LAND PREPARED FOR WESTOVER METROPOLITAN DEVELOPMENT CORP., DATED OCTOBER 30, 1987 AND RECORDED IN PLAN 253, PAGE 121 HAMPDEN COUNTY REGISTRY OF DEEDS.
- ELEVATIONS SHOWN ARE BASED UPON WESTOVER INDUSTRIAL AIRPARK - EAST CONTROL THAT WAS UTILIZED FOR ORIGINAL SITE DESIGN & PROPERTY SURVEY PERFORMED IN OCTOBER 1987.
- UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "DIG-SAFE" AND HAVE ALL UNDERGROUND UTILITIES MARKED ON THE GROUND.



**PROPOSED WORK AREA  
LOCATED ON SOUTH &  
EASTERN SIDES OF  
EXISTING BUILDING. SEE  
ENLARGEMENT ON DRAWING  
CX102.**

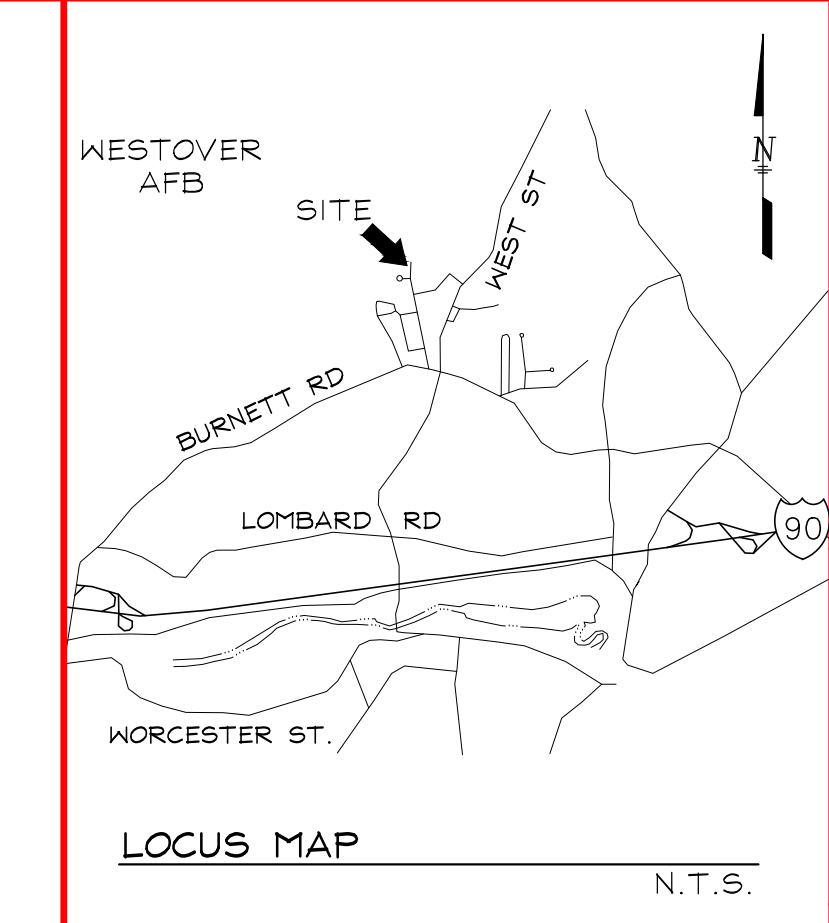
**LEGEND**

○	IRON PIN FOUND	— E —	UNDERGROUND ELECTRIC
□	BOUND FOUND	—	EDGE OF BITUMINOUS
▣	SCB	— ○ —	CHAIN LINK FENCE
→	DIRECTIONAL FLOW ARROW	— D —	UNDERGROUND STORMDRAIN
●	BOLLARD	— G —	GAS SERVICE
248.5	EXISTING SPOT GRADE	— W —	WATER SERVICE
X	HYDRANT	— S —	SANITARY SEWER
☆	LAMP POST	~ ~ ~	EDGE OF TREELINE
⊙	SANITARY MANHOLE	←	DIRECTIONAL TRAFFIC FLOW
⊕	DRAIN MANHOLE	●	SHRUB
— · — · —	APPROXIMATE PROPERTY LINE	● RL	EXISTING CONIFER
— · — · —	SETBACK	○ RL	ROOF LEADER
— · — · —	EXISTING CONTOUR	○	UTILITY POLE

**ZONING DISTRICT I-C (INDUSTRIAL)**

LAND SPACE REQUIREMENTS	REQUIRED	EXISTING	PROPOSED
LOT AREA	40,000 S.F.	7.78 ACRES (339,012 S.F.)	NO CHANGE
LOT FRONTAGE	50 FEET	130± FEET	NO CHANGE
FRONT YARD	25 FEET	84.4± FEET	49.6± FEET (NEW EAST SIDE DOCK)
SIDE YARD	25 FEET	97.7± FEET	49.3± FEET
REAR YARD	25 FEET	78.8± FEET	NO CHANGE
BUILDING COVERAGE PERCENT (%)	50%	17.3%	21.7% (ADDITIONS 14,975± S.F.)
MAX. BUILDING HEIGHT	MUST COMPLY WITH STATE BUILDING CODE	39± FEET	NO CHANGE
PARKING SPACES	20*	74 SPACES	NO CHANGE
REQUIRED LANDSCAPING FOR LOT SIZE > 5 ACRES	8% OF PARKING & CIRCULATION AREAS	8.2% ±	8.2% ±
	25 FOOT BUFFER ON FRONT YARD	25 FEET	NO CHANGE
	20 FOOT BUFFER ON SIDE/REAR YARDS	25± FEET	20 FEET

\* 1 SPACE PER 2 EMPLOYEES OF THE 2 LARGEST SHIFTS COMBINED & CUSTOMARILY ON THE PREMISES.



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REV.	DESCRIPTION	DATE
A	ISSUED FOR SITE PLAN APPROVAL	11-9-20

**MEREDITH-SPRINGFIELD ASSOCIATES, INC.**

321 MOODY STREET  
LUDLOW, MA 01056

OVERALL EXISTING  
CONDITIONS SITE PLAN

PROPOSED BUILDING  
ADDITIONS

DRAWN BY: JR  
DATE DRAWN: 9-14-2020  
SCALE: 1" = 40'  
AP'VD BY:

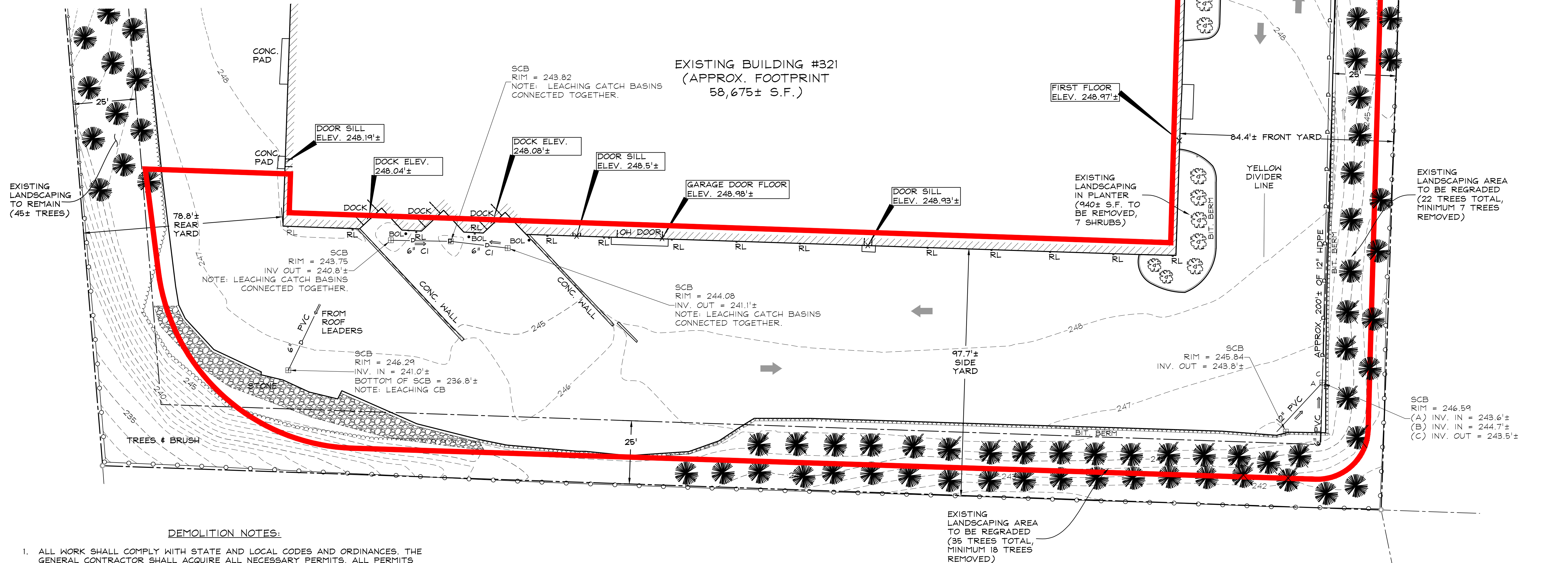
CAD CODE:  
SRV-2290-CX101M.DWG  
GRAPHIC SCALE: 40 80

PROJECT NUMBER:  
SRV-2290-001

DRAWING NUMBER	REV.
CX101	A

**SITE PLAN APPROVAL  
LUDLOW PLANNING BOARD**

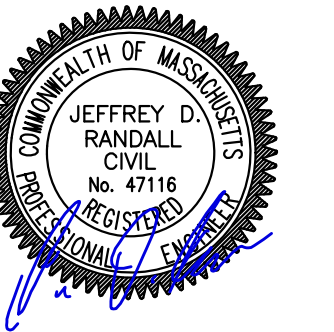
DATE: \_\_\_\_\_



**DEMOLITION NOTES:**

- ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES AND ORDINANCES. THE GENERAL CONTRACTOR SHALL ACQUIRE ALL NECESSARY PERMITS. ALL PERMITS SHALL BE OBTAINED PRIOR TO THE START OF WORK.
- THE GENERAL CONTRACTOR SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS. THE WORK AREAS ARE TO BE PICKED UP AT THE END OF EACH WORK DAY.
- THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS PRIOR TO SUBMITTING HIS PROPOSAL. NO EXTRAS DUE TO UNFAMILIARITY WITH THE EXISTING SITE OR WORKING CONDITIONS WILL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH OCCUR DUE TO HIS FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- ANY DAMAGE TO EXISTING UTILITIES, STRUCTURES, OR PROPERTY MUST BE REPORTED TO THE ENGINEER FOR REVIEW AND DIRECTION AS TO THE REPAIR, REPLACEMENT OR ABANDONMENT AT THE CONTRACTORS EXPENSE.
- ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS ARE TO BE VERIFIED BY THE CONTRACTOR. IF FIELD CONDITIONS VARY SIGNIFICANTLY ENOUGH TO REQUIRE A CHANGE TO THE CONTRACT DOCUMENTS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR SHALL ERECT AND MAINTAIN SAFETY BARRICADES AND POST PROPER NOTICES PRIOR TO THE COMMENCEMENT OF WORK.
- ANY CORRECTIONS REQUIRED FOR REVISIONS TO THE CONTRACT DRAWINGS INITIATED BY THE GENERAL CONTRACTOR OR SUBCONTRACTORS WITHOUT PRIOR APPROVAL OF THE OWNER AND OR THE ENGINEER SHALL BE ACCOMPLISHED AT THE CONTRACTORS RISK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL & DISPOSAL OF ALL MATERIAL NECESSARY TO PREPARE THE SITE FOR THE NEW CONSTRUCTION AS SHOWN ON THE SITE DRAWINGS.
- PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES, AND LANDSCAPING TO REMAIN.
- MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT THEM FROM DAMAGE DURING EXCAVATION OPERATIONS.
- DO NOT INTERRUPT EXISTING UTILITIES SERVING PUBLIC OR ASSOCIATED BUILDINGS WITHOUT AUTHORIZATION FROM THE ENGINEER. CONTRACTOR SHALL ARRANGE TO SHUT OFF UTILITIES, AS REQUIRED, WITH THE UTILITY COMPANIES AND TO COORDINATE UTILITY SHUTDOWN WITH A MINIMUM OF 48 HOURS BEFORE ANY INTERRUPTION.
- PROMPTLY TRANSPORT DEMOLISHED MATERIALS OFF OWNERS PROPERTY AND LEGALLY DISPOSE OF. DO NOT ALLOW DEMOLISHED MATERIAL TO COLLECT ON SITE. CONTRACTOR SHALL PAY ANY DUMPING FEES.
- THERE SHALL BE NO BURNING OF DEMOLISHED MATERIAL OR TRASH ALLOWED ON THE SITE.
- COORDINATE WITH THE ENGINEER FOR ANY ITEMS TO BE TURNED OVER TO, REMOVED OR RELOCATED BY OWNER.
- CONTRACTOR MUST MAINTAIN SAFE PASSAGE FOR PEOPLE AND VEHICLES TO AND FROM/AROUND THE WORK AREA. THE FACILITY AND EXISTING LOADING DOCKS WILL NEED TO REMAIN "OPEN" DURING CONSTRUCTION. CONTRACTOR WILL COORDINATE WORK PHASING WITH OWNER SO TRUCKS CAN ACCESS, LOAD/UNLOAD AND EXIT THE SITE.

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**MEREDITH-SPRINGFIELD ASSOCIATES, INC.**

321 MOODY STREET  
LUDLOW, MA 01056

DRAWING TITLE  
**ENLARGEMENT - EXISTING  
CONDITIONS SITE  
PLAN**

PROJECT DESCRIPTION  
**PROPOSED BUILDING  
ADDITIONS**

DRAWN BY: **JR**  
DATE DRAWN: **9-14-2020**  
SCALE: **1" = 20'**  
APV'D BY: \_\_\_\_\_

CAD CODE:  
**SRV-2290-CX101M.DWG**  
GRAPHIC SCALE: 0 20 40

PROJECT NUMBER:  
**SRV-2290-001**

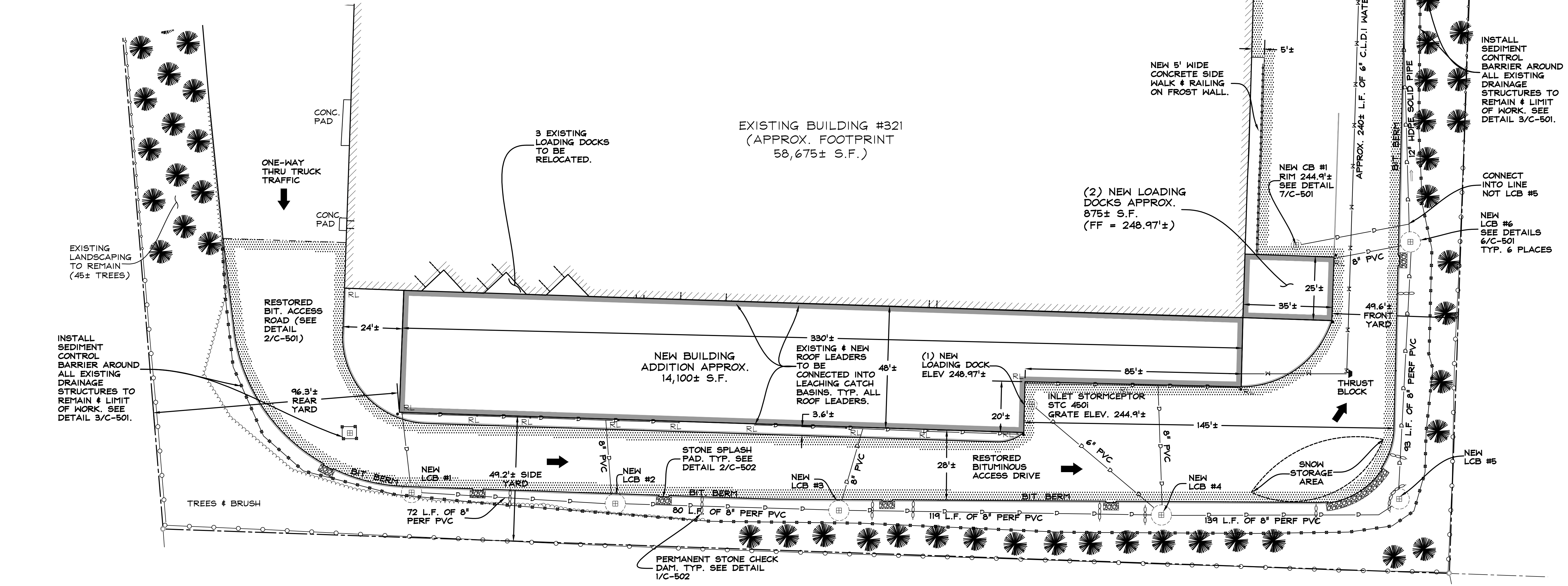
DRAWING NUMBER	REV.
<b>CX102</b>	<b>A</b>

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NEW STRUCTURE TABLE					
STRUCTURE	RIM ELEVATION	ROOF LEADERS CONNECT	INVERT IN	INVERT OUT ELEV.	PIPE SIZE
CATCH BASIN #1	244.9'±	NO	NO	242.0'±	6" PVC
STC 4501	244.9'±	NO	NO	242.0'±	6" PVC
LCB #1	246.4'±	YES *	----	241.8'±	8" PVC PERF
LCB #2	245.9'± **	YES *	241.8'±	241.8'±	8" PVC PERF
LCB #3	245.3'± **	YES *	241.8'±	241.8'±	8" PVC PERF
LCB #4	244.3'± **	YES *	241.8'±	241.8'±	8" PVC PERF
LCB #5	243.9'± **	YES *	241.5'±	241.5'±	8" PVC PERF
LCB #6	244.7'±	YES *	241.5'±	241.5'±	12" SOLID

\* DENOTES PIPING FROM NEW/EXISTING ROOF LEADERS. ADJUST PIPE SIZE & INVERTS AS NECESSARY TO CONNECT PIPING INTO NEW LEACHING CATCH BASINS. ROOF LEADER INVERTS ARE NOT LISTED IN TABLE.  
\*\* DENOTES RIM TO BE SET 0.4' ABOVE RAIN GARDEN FINISH GRADE FOR PONDING.  
LCB DENOTES LEACHING CATCH BASIN (PER DETAIL 6/C-501).



**GENERAL SITE NOTES:**

- ALL WORK IS TO BE PERFORMED BY LICENSED CONTRACTOR(S). ALL WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL CODES AND ORDINANCES INCLUDING BUT NOT LIMITED TO: AASHTO, OSHA, EPA, DEP, MADOT, AND THE TOWN OF LUDLOW. ALL NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO THE START OF WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS AND CODES.
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED AND DISPOSED OF BY THE CONTRACTOR, IN ACCORDANCE WITH ALL FEDERAL AND STATE REGULATIONS, AT AN APPROVED DISPOSAL LOCATION.
- AGGREGATE SHALL CONFORM TO MASSACHUSETTS HIGHWAY STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
- SAW CUT EXISTING EDGE OF PAVEMENT AND WHERE NEW/EXISTING PAVEMENT MEET AND MATCH EXISTING GRADES. ALL SAWCUTS WILL BE STRAIGHT LINES; "ZIG-ZAG" OR "SAW-TOOTH" CUTS ARE UNACCEPTABLE AND WILL BE RECUT AND THE BITUMINOUS REPLACED AS PART OF THE CONTRACT.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH O.S.H.A. REQUIREMENTS.
- SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT O.S.H.A. STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES.
- ANY REPRODUCTION OF THIS ENGINEERED DOCUMENT WITHOUT THE PRIOR CONSENT OF THE "ENGINEER OF RECORD" IS STRICTLY PROHIBITED.
- UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING "DIG-SAFE" AND HAVE ALL UNDERGROUND UTILITIES MARKED ON THE GROUND. THE CONTRACTOR SHOULD ALSO NOTIFY THE MUNICIPAL WATER, SEWER AND DRAIN DEPARTMENT TO MARK OUT THEIR UTILITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS PRODUCT PIPING, ETC. PRIOR TO COMMENCEMENT OF EXCAVATION OF ANY TYPE.
- THE GENERAL CONTRACTOR SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS. THE WORK AREAS ARE TO BE PICKED UP AT THE END OF EACH WORK DAY.
- ANY TEMPORARY FACILITIES FOR THE STORAGE OR PROTECTION OF TOOLS, EQUIPMENT OR MATERIALS SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY, SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY.
- ANY DAMAGE TO EXISTING UTILITIES, STRUCTURES, OR PROPERTY MUST BE REPORTED TO THE OWNER FOR REVIEW AND DIRECTION AS TO THE REPAIR, REPLACEMENT OR ABANDONMENT AT THE CONTRACTORS EXPENSE.
- ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS ARE TO BE VERIFIED BY THE CONTRACTOR. IF FIELD CONDITIONS VARY SIGNIFICANTLY ENOUGH TO REQUIRE A CHANGE TO THE CONTRACT DOCUMENTS, THE OWNER AND ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL CONTACT THE OWNER AND ENGINEER SHOULD HE FIND ANY CONFLICT OR INCONSISTENCY BETWEEN THE WORK SHOWN ON THE DRAWINGS AND NORMAL ACCEPTED CONSTRUCTION PRACTICES, OR HE SHALL ASSUME RESPONSIBILITY FOR ALL CORRECTIONS.
- ANY CORRECTIONS REQUIRED FOR REVISIONS TO THE CONTRACT DRAWINGS INITIATED BY THE GENERAL CONTRACTOR OR SUBCONTRACTORS WITHOUT PRIOR APPROVAL OF THE OWNER AND/OR THE ENGINEER SHALL BE ACCOMPLISHED AT THE CONTRACTORS RISK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL & LEGAL DISPOSAL OF ALL MATERIAL NECESSARY TO PREPARE THE SITE FOR THE NEW CONSTRUCTION AS SHOWN ON THE SITE DRAWINGS.
- DO NOT DAMAGE EXISTING UTILITIES TO REMAIN WITHIN PROJECT AREA. ALL DAMAGE TO EXISTING UTILITIES TO REMAIN SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE UTILITY OWNER.
- DO NOT INTERRUPT EXISTING UTILITIES WITHOUT AUTHORIZATION FROM THE AFFECTED MUNICIPALITIES AND THE OWNER. CONTRACTOR SHALL ARRANGE TO SHUT OFF UTILITIES, AS REQUIRED, WITH THE UTILITY OWNERS. CONTRACTOR SHALL ARRANGE WITH LOCAL POLICE FOR DETAIL IF REQUIRED AND BE RESPONSIBLE FOR ASSOCIATED FEES.
- CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST SO THAT DUST DOES NOT CREATE A NUISANCE ON ADJACENT ROADS OR PROPERTIES.
- CONTRACTOR SHALL PREPARE SITE AS NECESSARY FOR CONSTRUCTION SHOWN ON PLANS.

**LEGEND**

- RESTORED BITUMINOUS
- PROPOSED BUILDING ADDITIONS
- STONE SPLASH PAD
- SEDIMENT CONTROL BARRIER
- STONE CHECK DAM
- NEW UNDERGROUND STORM DRAIN
- NEW WATER MAIN
- APPROXIMATE ROOF LEADER LOCATION
- LEACHING CATCH BASIN

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321 MOODY STREET  
LUDLOW, MA 01056  
DRAWING TITLE  
ENLARGEMENT - PROPOSED  
SITE LAYOUT & UTILITY  
PLAN

PROJECT DESCRIPTION	PROPOSED BUILDING ADDITIONS
DRAWN BY	JR
DATE DRAWN	9-14-2020
SCALE	1" = 20'
APR'D BY	
CAD CODE:	SRV-2290-CX101M.DWG
GRAPHIC SCALE:	0 20 40
PROJECT NUMBER:	SRV-2290-001
DRAWING NUMBER	REV.
C-101	A



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MEREDITH-SPRINGFIELD ASSOCIATES, INC.  
321 MOODY STREET  
LUDLOW, MA 01096

PROPOSED BUILDING  
ADDITIONS

DRAWN BY: JR  
DATE DRAWN: 9-14-2020  
SCALE: 1" = 20'  
APV'D BY:

CAD CODE:  
SRV-2290-CX101M.DWG  
GRAPHIC SCALE: 20 40  
PROJECT NUMBER:  
SRV-2290-001

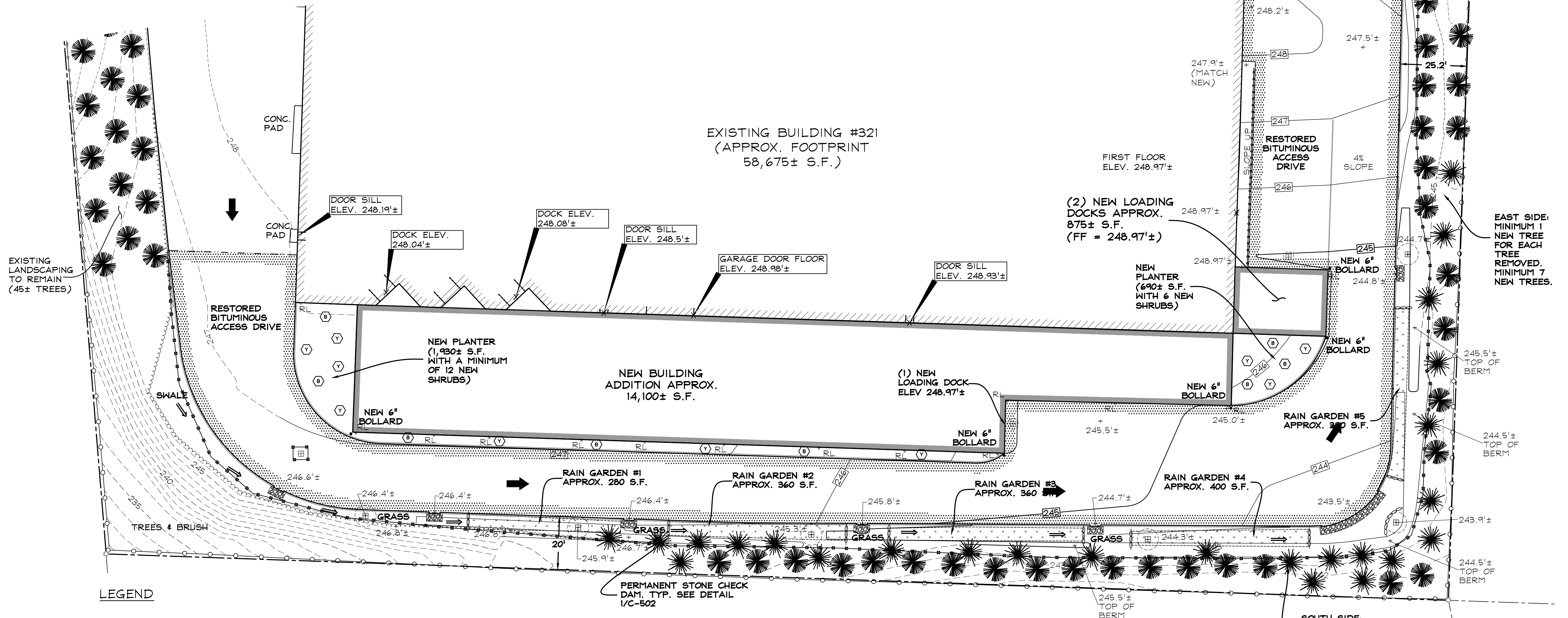
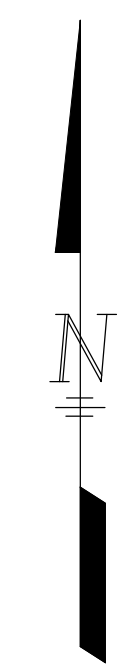
DRAWING NUMBER: C-102  
REV: A

SITE PLAN APPROVAL  
LUDLOW PLANNING BOARD

\_\_\_\_\_

\_\_\_\_\_

DATE: \_\_\_\_\_



- LEGEND**
- RESTORED BITUMINOUS
  - PROPOSED BUILDING ADDITIONS
  - PROPOSED RAIN GARDEN
  - STONE SPLASH PAD
  - PROPOSED SPOT GRADE
  - PROPOSED CONTOUR
  - STONE CHECK DAM
  - NEW SHRUB
  - NEW TREE

**TREE PLANTING LIST**

COMMON NAME	SCIENTIFIC NAME	QTY	MIN. SPACING	SIZE
EASTERN WHITE PINE	PINUS STROBUS	8	10' O.C.	2 1/2"
BLUE SPRUCE	PICEA PUNGENS	9	10' O.C.	2 1/2"
RED SPRUCE	PICEA RUBENS	8	10' O.C.	2 1/2"

A MINIMUM OF 25 EXISTING CONIFERS WILL BE REMOVED AS PART OF THE GRADING AND DRAINAGE INSTALLATION. ALL THE TREES APPEAR TO BE BLUE SPRUCE, SPRUCE OR PINE TREES THAT WERE INSTALLED WHEN THE SITE WAS ORIGINALLY PERMITTED. THE APPLICANT WILL REPLACE ALL TREES AT A 1 TO 1 RATIO (1 NEW FOR EACH 1 REMOVED). IF OTHER TREES IN THE WORK VICINITY APPEAR UNHEALTHY OR A IMPACTED AS A RESULT OF THE PROPOSED WORK THEY WILL ALSO BE REPLACED AT THE SAME RATIO.

REFER TO DETAIL 5/C-502 FOR PLANTING DETAIL & NOTES.

NEW TREES SHOULD BE STAGGERED (BOTH SPECIES TYPES & LOCATION) TO CREATE A LANDSCAPING BARRIER ALONG THE PROPERTY LINE(S). THE PLANTING LOCATION SHOWN HEREON MAYBE MODIFIED AS NECESSARY TO IMPROVE BARRIER DENSITY.

**SHRUB PLANTING LIST**

COMMON NAME	SCIENTIFIC NAME	QTY	MIN. SPACING	SIZE
EASTERN YEW	TAXUS CANADENSIS	10	MAX. 5' APART	18" HIGH
BAYBERRY	MYRICA PENSYLVANICA	8	MAX. 5' APART	18" HIGH

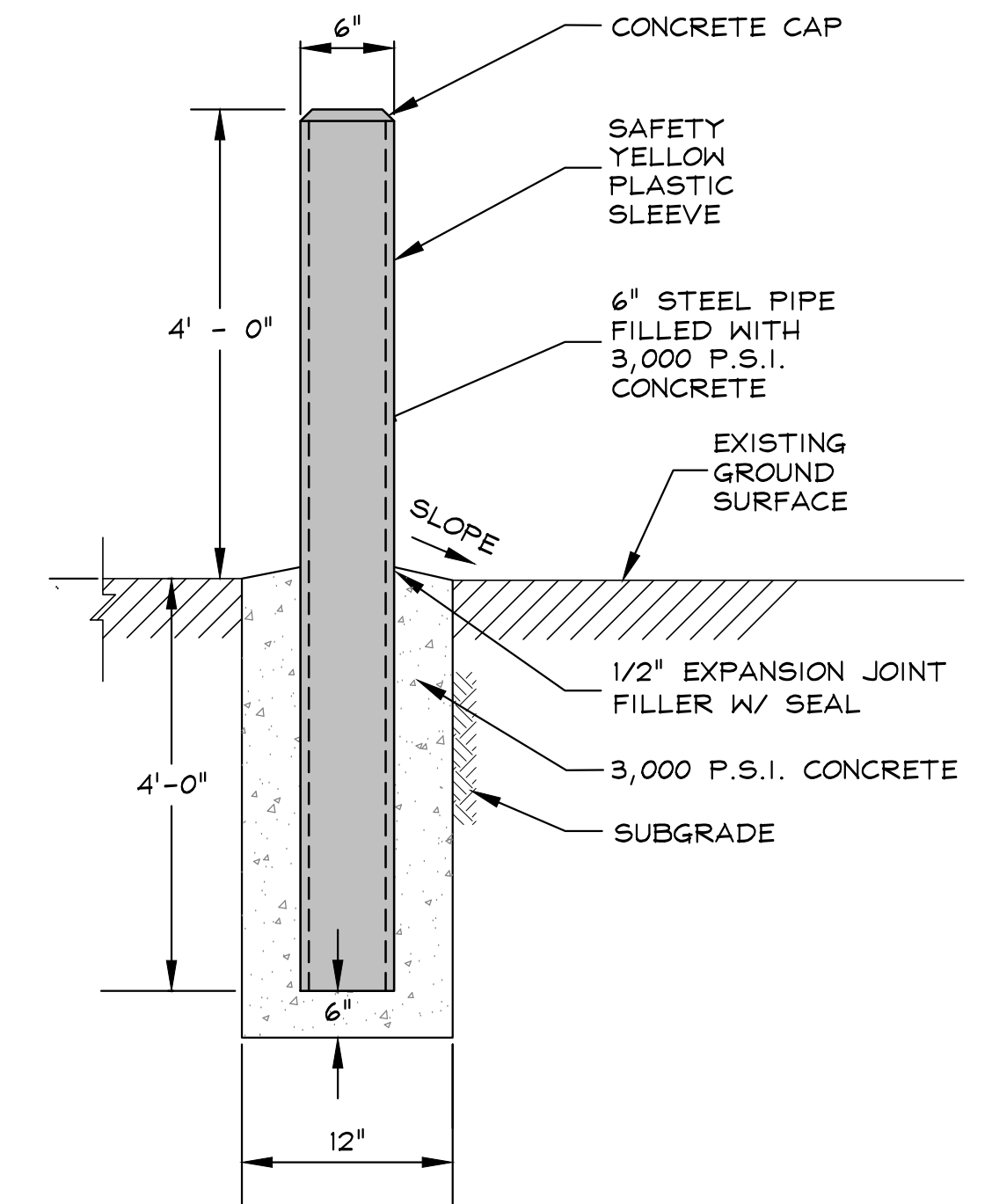
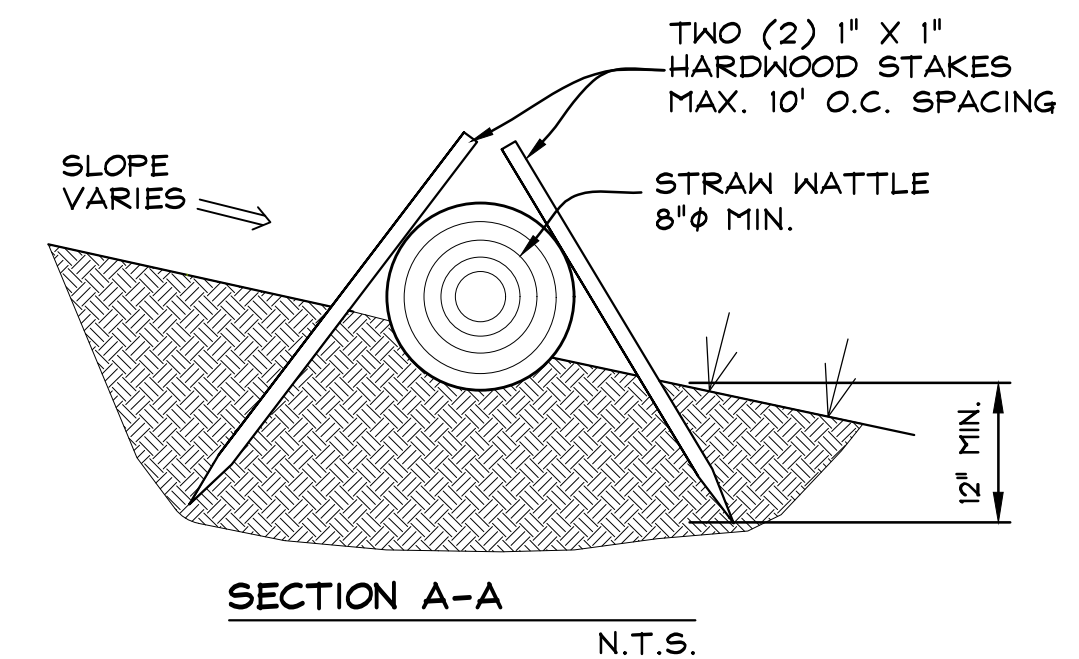
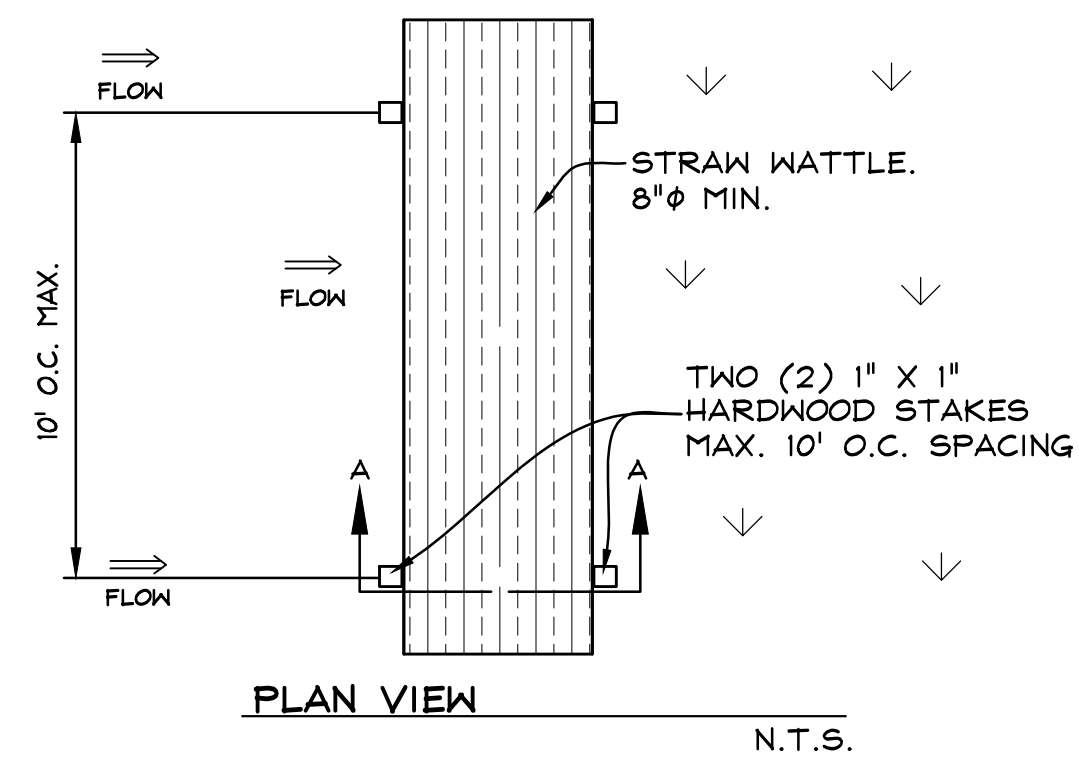
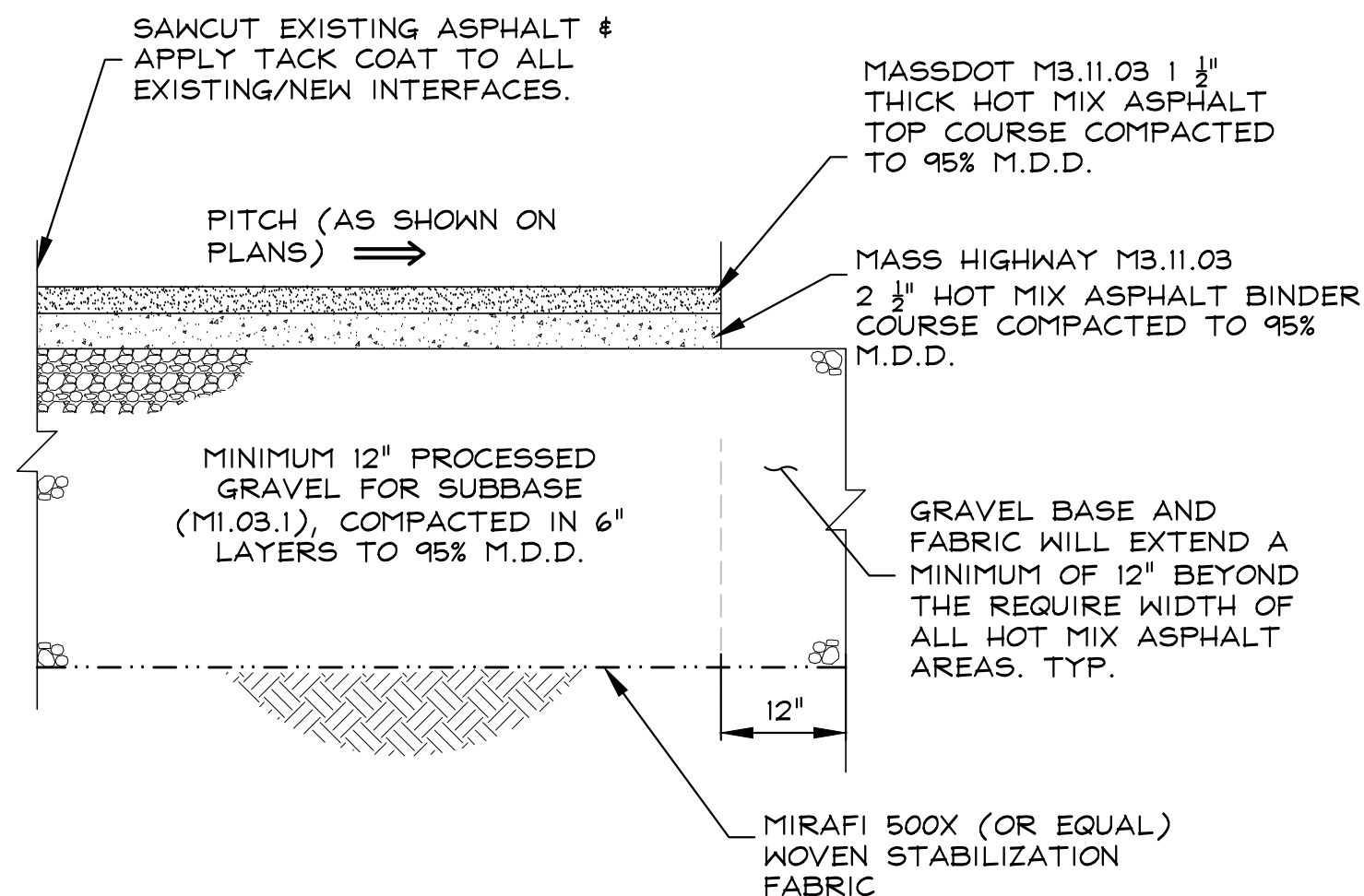
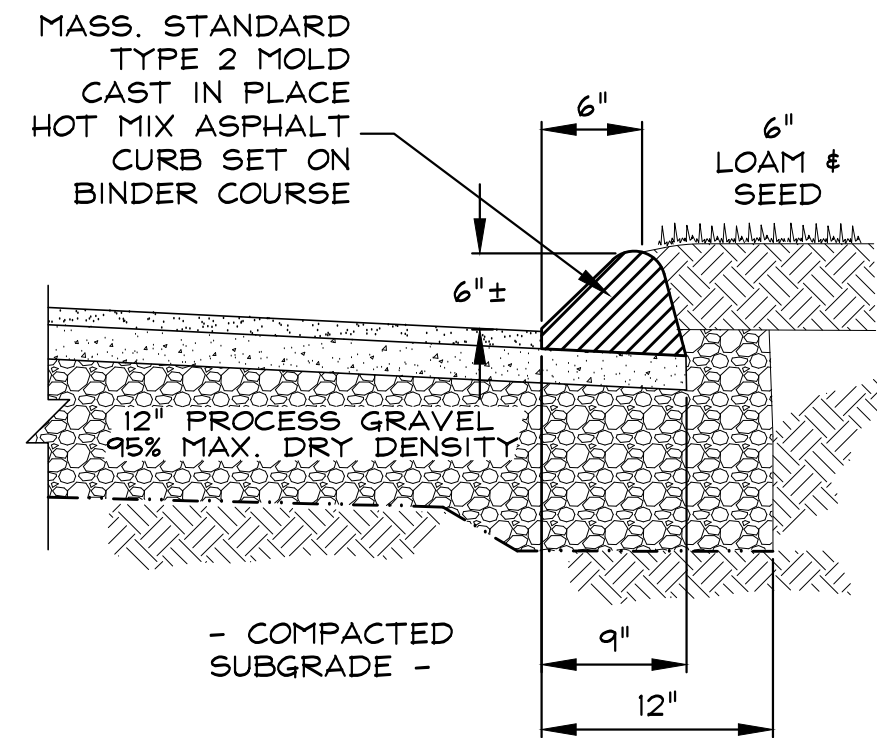
16 EXISTING YEWS LOCATED IN THE REMOVED ISLANDS WILL BE REMOVED AS PART OF THE PROJECT. 18 NEW SHRUBS WITH THE SPECIES NOTED ABOVE WILL BE INSTALLED AS PART OF THE PROJECT.

REFER TO DETAIL 5/C-502 FOR PLANTING DETAILS AND NOTES.

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DATE: \_\_\_\_\_

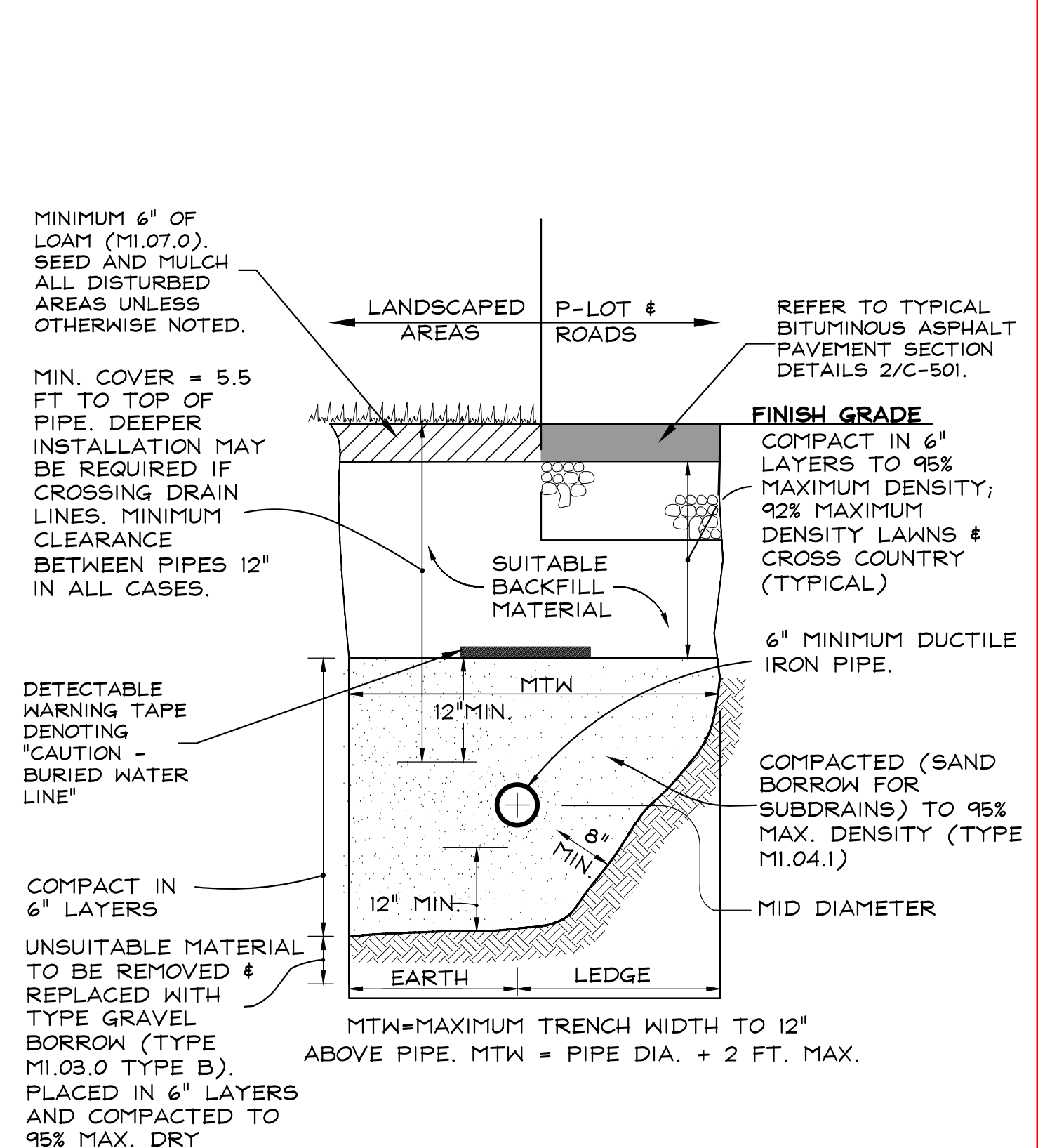
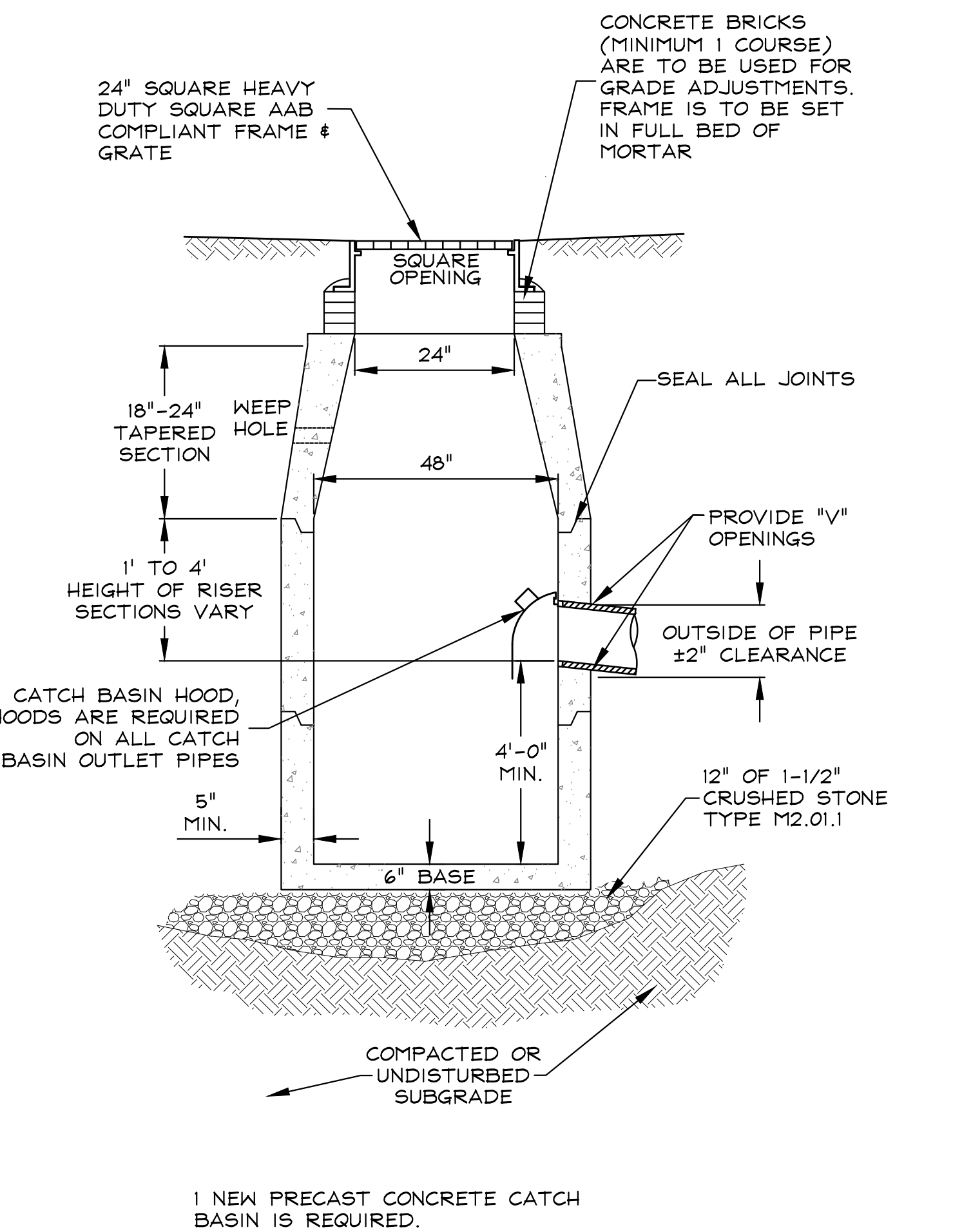
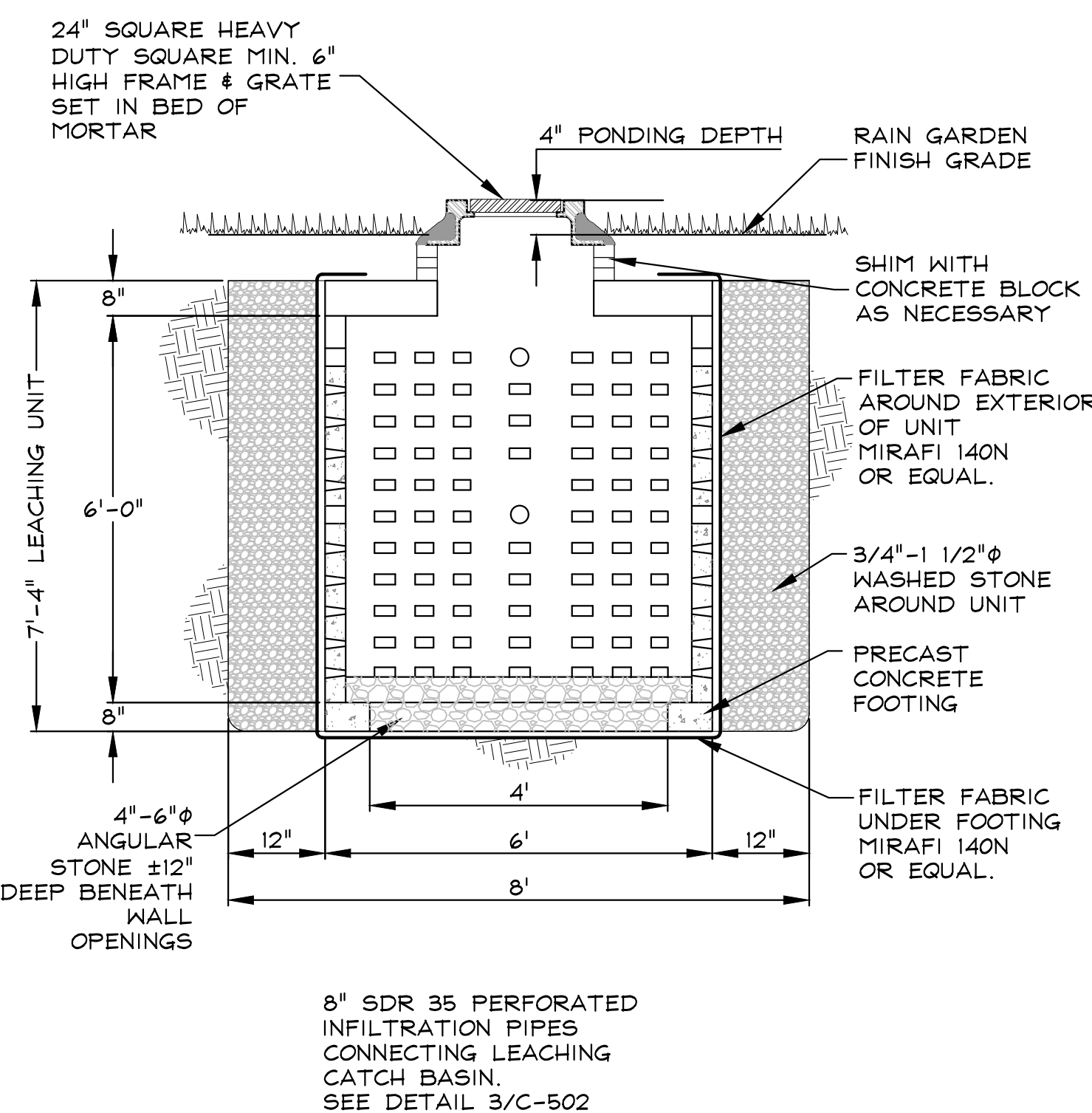
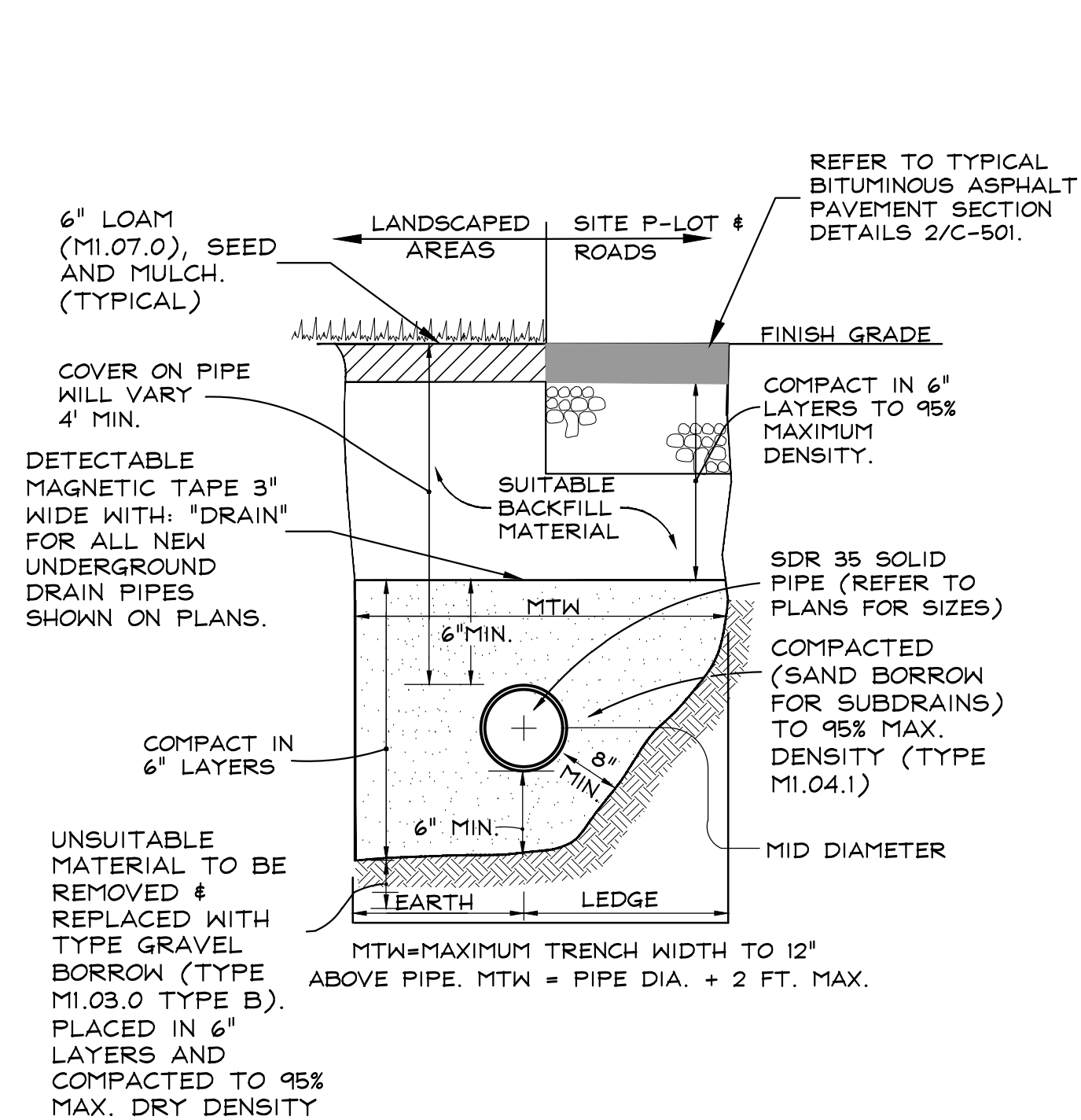


1 6" CAST-IN-PLACE HOT MIX ASPHALT BERM SECTION  
C-501 N.T.S.

2 TYPICAL HOT MIX ASPHALT PAVEMENT SECTION  
C-501 N.T.S.

3 EROSION & SEDIMENTATION CONTROL DETAIL  
C-501 N.T.S.

4 PERMANENT 6" STEEL PIPE BOLLARD DETAIL  
C-501 N.T.S.



5 TYPICAL STORM DRAIN TRENCH SECTION  
C-501 N.T.S.

6 PRECAST LEACHING CATCH BASIN DETAIL  
C-501 N.T.S.

7 NEW PRECAST CONCRETE CATCH BASIN DETAIL  
C-501 N.T.S.

8 TYPICAL WATER MAIN SECTION  
C-501 N.T.S.

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REV.	DESCRIPTION	DATE
A	ISSUED FOR SITE PLAN APPROVAL	11-9-20

**MEREDITH-SPRINGFIELD ASSOCIATES, INC.**  
321 MOODY STREET  
LUDLOW, MA 01056  
DRAWING TITLE  
**CONSTRUCTION  
DETAILS**

DRAWN BY: JR  
DATE DRAWN: 9-14-2020  
SCALE: AS-NOTED  
APV'D BY:

CAD CODE:  
SRV-2290-CX101M.DWG  
GRAPHIC SCALE:  
PROJECT NUMBER:  
SRV-2290-001

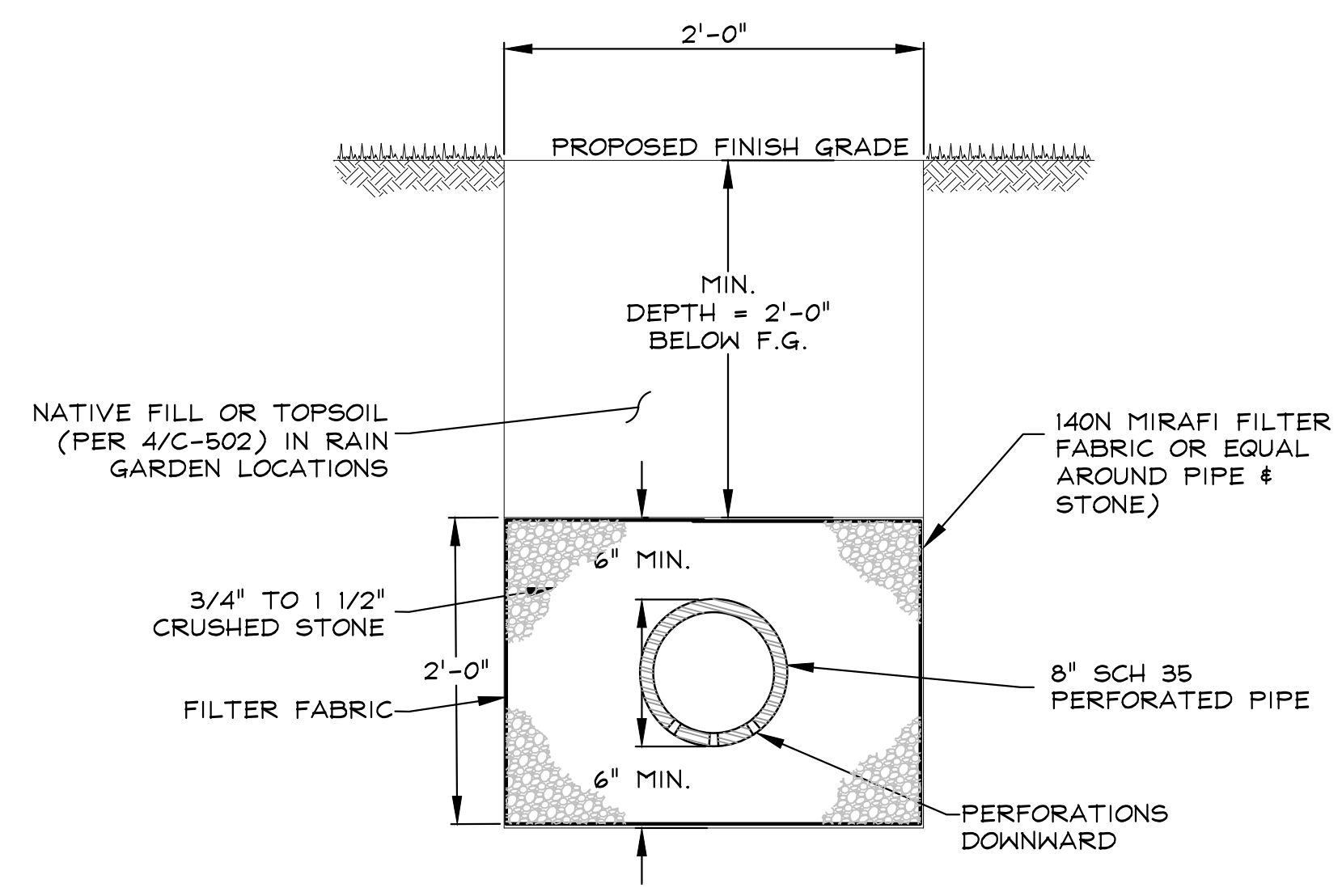
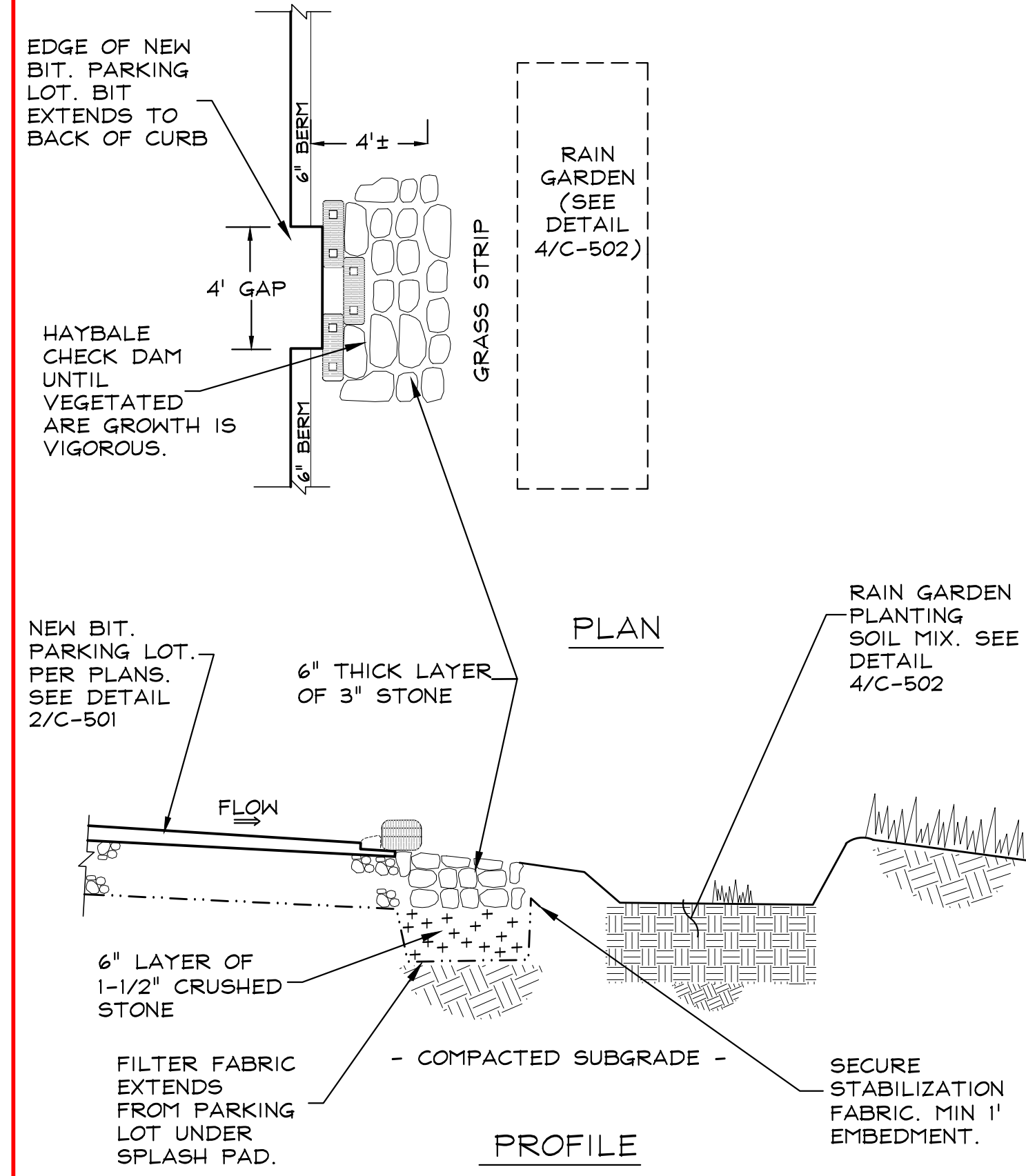
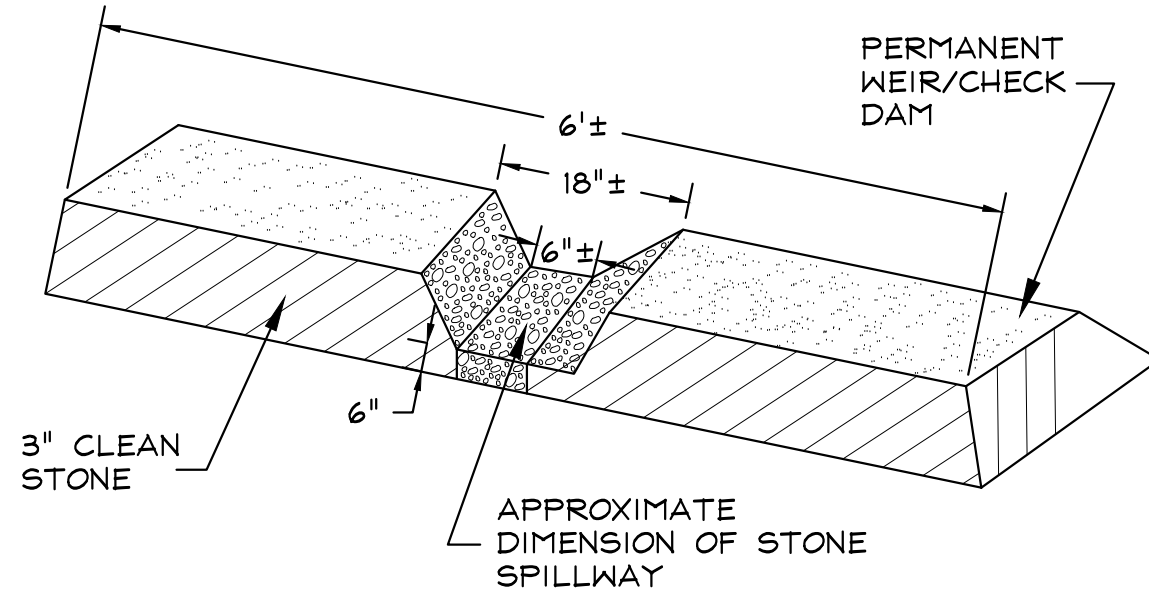
DRAWING NUMBER: C-501  
REV: A

**SITE PLAN APPROVAL  
LUDLOW PLANNING BOARD**

DATE: \_\_\_\_\_

LOCATIONS OF PERMANENT STONE CHECK DAMS ARE SHOWN ON SITE PLAN.

SPACE STONE CHECK DAMS 80'± ON CENTER OR AS NOTED ON PLANS.



STORAGE VOLUME = PIPE + STONE TRENCH  
= .3490 C.F./L.F. + (3.651 C.F./L.F. X .4 VOID)  
= 1.8094 CUBIC FEET PER LINEAL FOOT OF PIPE

- NOTES:
- PERFORATED PIPING WITH CRUSHED STONE SHOWN IN DETAIL WILL CONNECT NEW DRYWELLS.
  - PIPING CONNECTING DRY WELLS WILL BE SET "LEVEL" TO ALLOW FOR DISPERSION OF CLEAN STORM WATER.

1 TYPICAL STONE CHECK DAM DETAIL  
C-502 N.T.S.

2 STONE SPLASH PAD AT CURBING BREAKS DETAIL  
C-502 N.T.S.

3 TYPICAL INFILTRATION PIPE AND STONE SECTION & NOTES  
C-502 N.T.S.

PLANTING SOIL NOTE: SOIL MIX TO BE A MIXTURE OF SAND, COMPOST AND TOPSOIL 40% SAND, 20-30% TOPSOIL AND 30-40% COMPOST

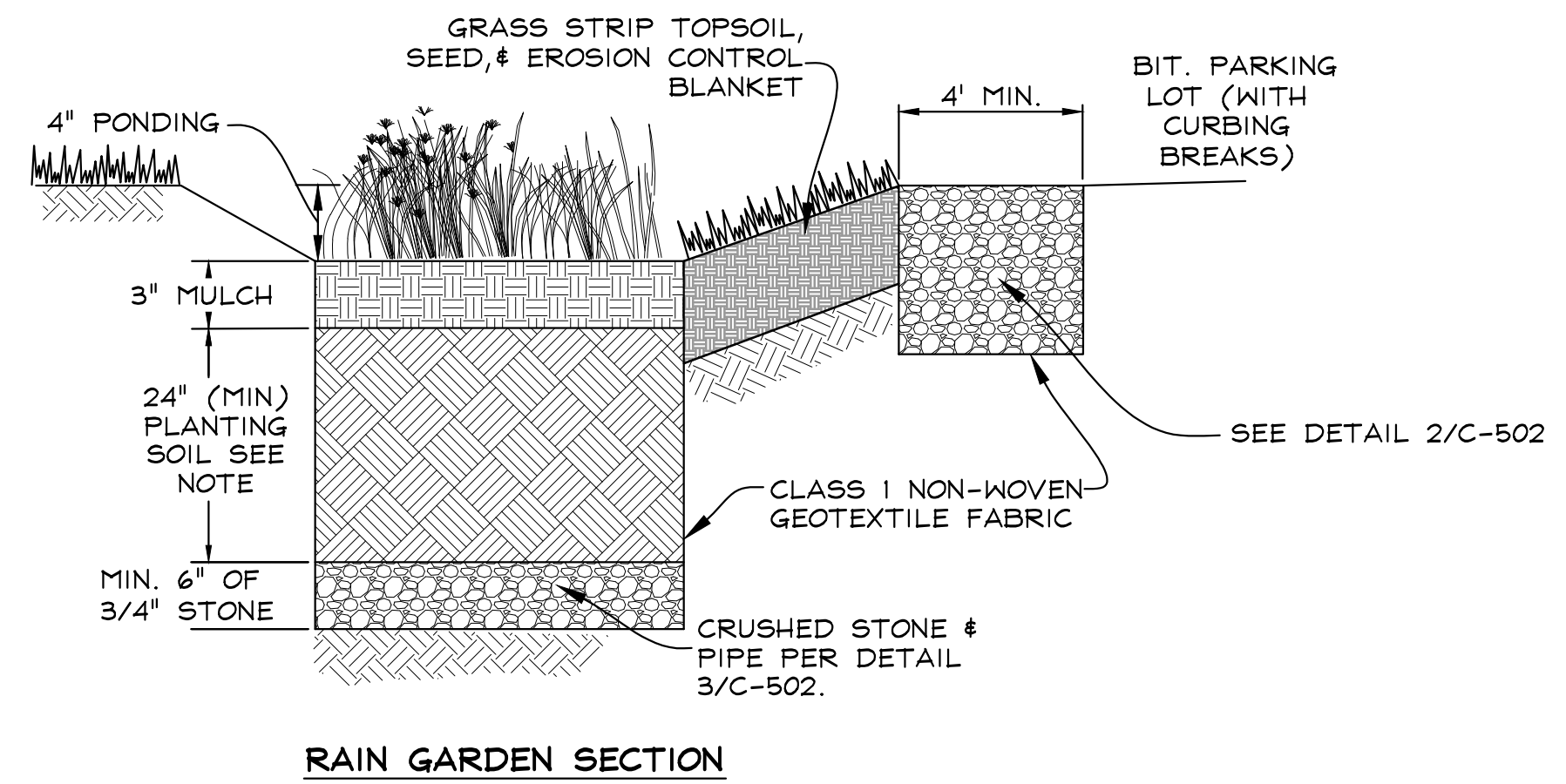
SAND TO BE GRAVELLY SAND WITH THE FOLLOWING SIEVE ANALYSIS:

SIEVE SIZE	PERCENT PASSING
2-INCH	100
3/4-INCH	70-100
1/4-INCH	50-80
NO. 40	15-40
NO. 200	0-3

TOPSOIL TO BE SANDY LOAM. COMPOST MUST BE WELL DECOMPOSED LEAVES & PLANT MATERIAL.

MULCH TO BE FINE SHREDDED HARDWOOD MIXED WITH 20% COMPOST.

ALL LOAM AND COMPOST TO BE 99% FREE OF WEED SEEDS.

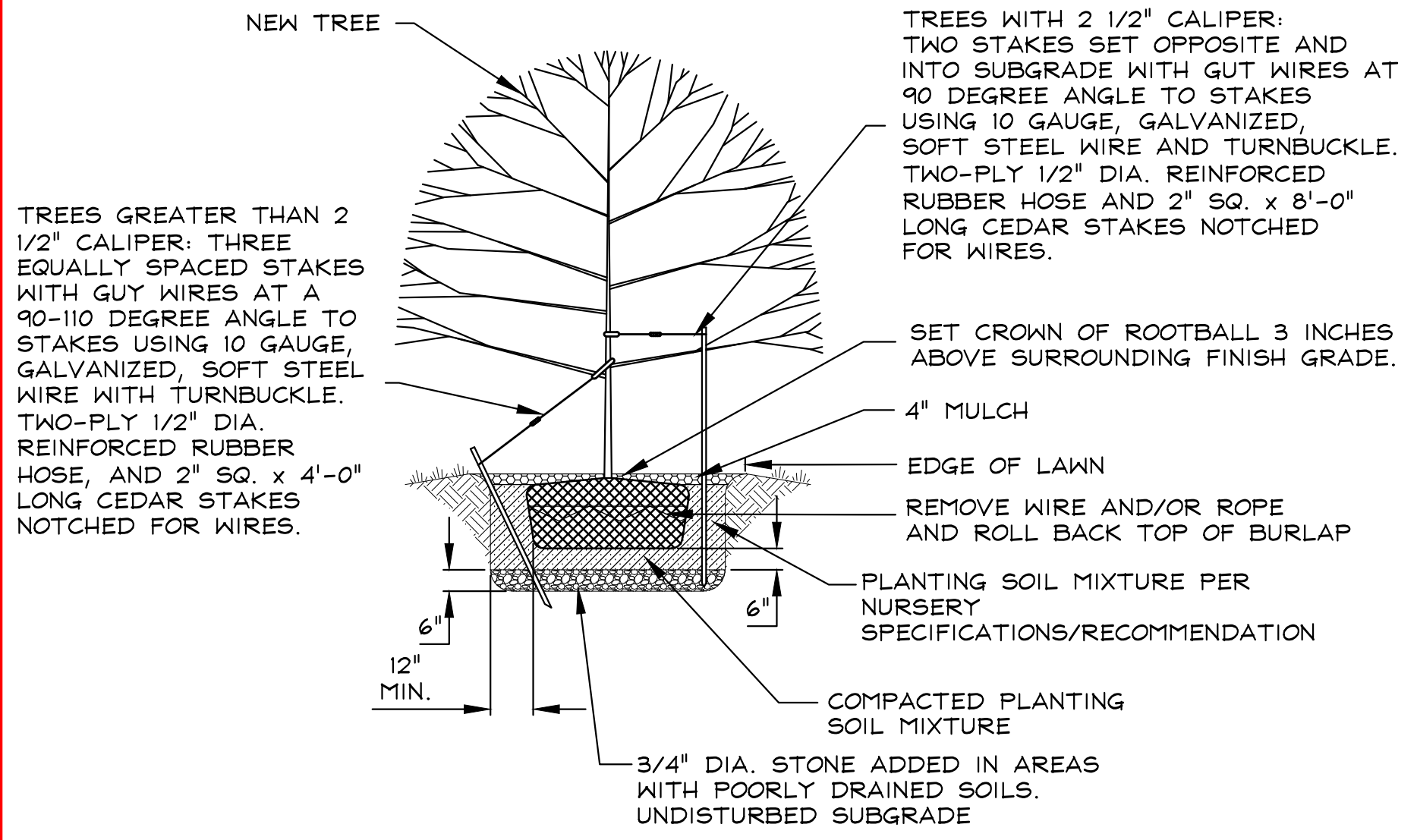


STANDARD RAIN GARDEN PLANTING LIST				
COMMON NAME	SCIENTIFIC NAME	QTY*	SPACING	SIZE
ELDERBERRY	SAMBUCUS CANADENSIS	8	5'	1 GAL.
SILKY DOGWOOD	CORNUS AMOMUM	8	5'	1 GAL.
HIGH BUSH BLUEBERRY	VACCINIUM CORYMBOSUM	8	5'	1 GAL.
MEADOW SWEET	SPIRAEA LATIFOLIA	8	5'	1 GAL.
SWITCHGRASS	PANICUM VIRGATUM	0.5LB	SEED MIX	
LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	0.5LB	SEED MIX	
LUPINE	LUPINE PERENNIS	0.5LB	SEED MIX	
FLAT-TOP ASTER	ASTER UMBELLATUS	0.5LB	SEED MIX	
MOIST MIX		0.5LB	SEED MIX	

\* QUANTITY IS PER 800 SQUARE FEET OF RAIN GARDEN AREA, TOTAL RAIN GARDEN AREA 1,720± SQUARE FEET

NEW ENGLAND EROSION CONTROL/RESTORATION + MIX FOR MOIST SITES		
SPECIES		PERCENT
SWITCHGRASS (PANICUM VIRGATUM)		32
VIRGINIA WILD RYE (ELYMUS VIRGINICUS)		16
CREEPING RED FESCUE (FESTUCA RUBRA)		15
FOX SEDGE (CAREX VULPINOIDEA)		10
CREEPING BENTGRASS (AGROSTIS STOLONIFERA)		7.5
SILKY WILD RYE (ELYMUS VILLOSUS)		7
PARTRIDGE PEA (CHAMAECRISTA FASCICULATA)		5.5
SOFT RUSH (JUNCUS EFFUSUS)		2
FLAT-TOP ASTER (ASTER UMBELLATUS)		1
NODDING BUR MARIGOLD (BIDENS CERNUA)		1
JOE-PYE WEED (EUPATORIUM MACULATUM)		1
BONESET (EUPATORIUM PERFOLIATUM)		1
GRASS-LEAVED GOLDENROD (SOLIDAGO GRAMINIFOLIA)		0.5
GREY GOLDENROD (SOLIDAGO NEMORALIS)		0.5
<b>TOTAL</b>		<b>100</b>

+ TO BE UTILIZED IN THE RAIN GARDEN  
NOTE: SEED COMPOSITION PERCENTAGES VARIES SLIGHTLY FOR EACH GROWING SEASON. CONTRACTOR SHALL UTILIZE SEED MIXTURE FOR THE YEAR THE WORK IS PERFORMED.



- LANDSCAPING NOTES
- ALL NEW NURSERY STOCK SHALL CONFORM TO THE CURRENT MINIMUM GUIDELINES ESTABLISHED FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. ALL NEW PLANTS TO BE BALLED AND BURLAPPED OR CONTAINER-GROWN, UNLESS OTHERWISE NOTED ON THE PLANT LIST.
  - THE WORK SHALL CONSIST OF FURNISHING, TRANSPLANTING OR PLANTING OF TREES, SHRUBS, VINES, GROUND COVER AND SEEDLINGS ETC. OF THE VARIETIES AND SIZES SPECIFIED ON THE PLANS. THE WORK SHALL ALSO INCLUDE THE EXCAVATION OF THE PITS, PLACING OF THE BACKFILL MIXTURE, WATERING, STAKING OR GUYING, WRAPPING, LIMING, FERTILIZING AND GENERAL CARE OF THE PLANTS AS WELL AS THE REPLACEMENT OF UNSATISFACTORY PLANTS AND MATERIALS DURING THE LIFE OF THE CONTRACT.
  - ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ANY MATERIAL WHICH DIES OR DOES NOT SHOW A HEALTHY APPEARANCE WITHIN THIS TIME SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, WITH THE SAME WARRANTY REQUIREMENTS AS THE ORIGINAL. WARRANTY DOES NOT COVER LOSS DUE TO INSECT INFESTATION, MECHANICAL DAMAGE, OR SNOW DAMAGE. CONTRACTOR SHALL ARRANGE FOR WATERING AND CARE OF PLANTS FOR FIRST NINETY DAYS (90) AFTER PLANTING.
  - CONTRACTOR SHALL REPLACE AT ITS EXPENSE ANY AND ALL DEAD/DYING PLANTINGS AS DETERMINED BY THE ARCHITECT/ENGINEER PRIOR TO THE WARRANTY EXPIRATION.
  - SEED IN ACCORDANCE WITH MASS HIGHWAY SECTION 765. UTILIZE SPECIFIED SEED MIXTURE FOR ALL DISTURBED AREAS.

4 TYPICAL RAIN GARDEN SECTION & PLANTING DETAILS & NOTES  
C-502 N.T.S.

5 TREE/SHRUB PLANTING DETAILS & NOTES  
C-502 N.T.S.

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