

PARKING REQUIREMENTS
 UNIT 1 1 SPACE PER EMPLOYEE
 UNIT 2 1 SPACE FOR UNIT OWNER
 UNIT 3 3 SPACES FOR AUTO SALES (10 CAR LICENSE)

AREA OF LOT	46,841 SF.
AREA OF BUILDING 1	6,044 SF.
AREA OF BUILDING 2	4,045 SF.
AREA OF UNIT 1 3,022 SF (AUTO PARTS)	2 EMPLOYEES
AREA OF UNIT 2 3,022 SF (PRIVATE WAREHOUSE)	0 EMPLOYEES
AREA OF UNIT 3 4,045 SF (AUTO SALES)	1 EMPLOYEE
EMPLOYEES	3
SEATING CAPACITY	0
SLEEPING CAPACITY	0
REQUIRED PARKING	6 SPACES
EXISTING PARKING ON SITE	6 SPACES
NUMBER OF SHRUBS ON SITE & ON PLAN	0 SHRUBS
NUMBER OF TREES ON SITE & ON PLAN	0 TREES

SITE PLAN APPROVAL
 LUDLOW PLANNING BOARD

 DATE: _____

NOTE: NO CHANGES PROPOSED TO EXISTING TOPOGRAPHY
 OR EXISTING STORM WATER RUNOFF.

OWNER/APPLICANT: JOHN GARCIA
 23 AUSTIN STREET
 LUDLOW, MA

LEGEND

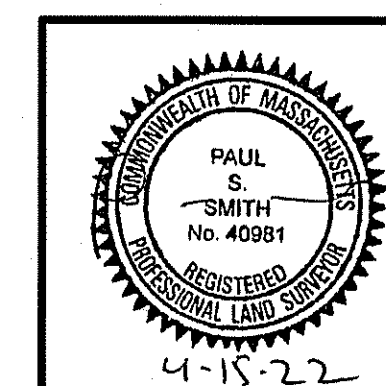
- SEWER LINE -----
- WATER LINE - - - - -
- DRAIN LINE - - - - -
- ELECTRIC LINE - - - - -
- UTILITY POLE U.P. ⚡
- EXTERIOR LIGHT ⊙



SITE PLAN
 37 LETOURNEAU LANE
 LUDLOW, MA
 OWNED BY
 RONALD J. KING
 &
 JOHN GARCIA

DEED BOOK 22651 PAGE 252
 PLAN BOOK 198 PAGE 96-105
 ZONE: INDUSTRIAL C
 ASSESSOR'S MAP 5 LOT 8
 CAMA ID 5034

DATE: APRIL 15, 2022 SCALE: 1" = 20'



PAUL S. SMITH LAND SURVEYING
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