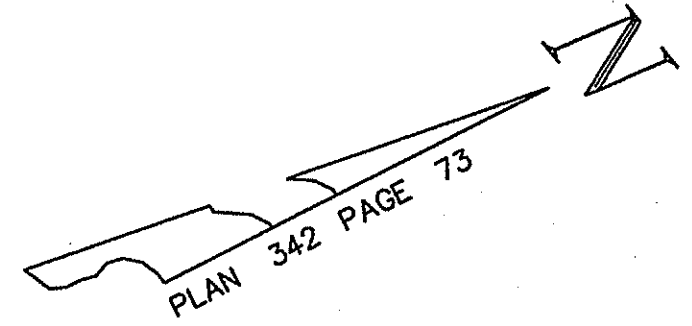
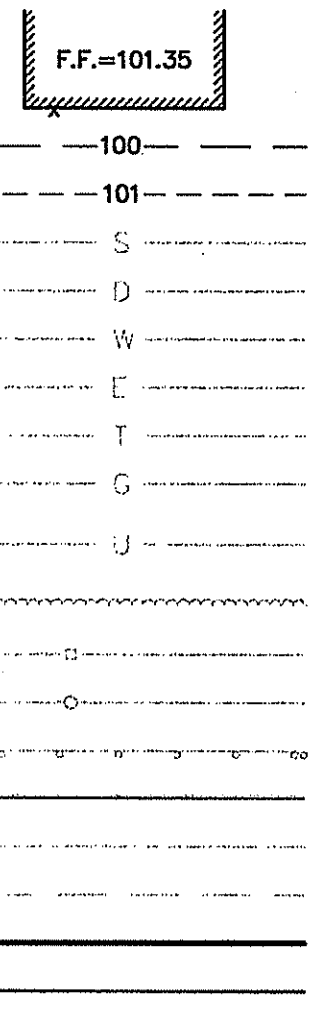


LEGEND

- CATCH BASIN
- ☆ LIGHT POLE
- ⊖ E.B. ELECTRIC BOX
- ☆ LIGHTPOST
- ⊕ HYDRANT
- ⊕ WATER MANHOLE
- ⊕ WATER GATE
- ⊕ WELL
- ⊕ GAS GATE
- ⊕ SIGN
- ⊕ MAIL BOX
- ⊕ CONIFEROUS TREE
- ⊕ TEMPORARY BENCH MARK
- C.B. FD. CONCRETE BOUND FOUND
- I.P. FD. IRON PIPE FOUND
- G.B. FD. GUN BARREL FOUND
- R.B. FD. REINFORCING BAR FOUND



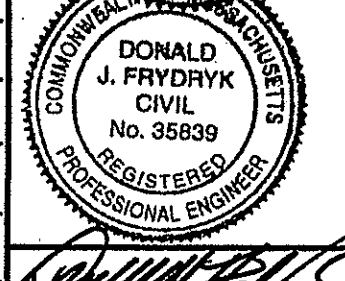
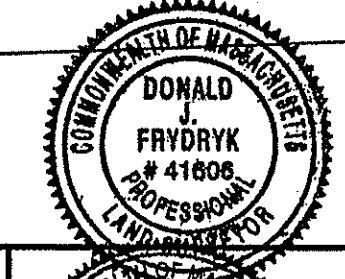
A.L.M. GROUP, LLC
Bk. 14790 PG. 433
PLAN BK. 336 PG. 11
(M-3, P-8B)

RONALD J. CHAISSON
Bk. 8906 PG. 284
PLAN BK. 342 PAGE 73

UNITED DEVELOPMENT GROUP, LLC
Bk. 16289 PG. 130
PLAN BK. 343 PG. 86
PARCEL C

COMMONWEALTH OF MASSACHUSETTS
METROPOLITAN COMMISSION
Bk. 1976 PG. 21

OWNER/APPLICANT
ESTATE OF
RONALD S. CHAISSON
58 CISLAK DRIVE
LUDLOW, MA 01056



FIELD WORK: JGG/PWS
COMPS: SBW
DRAFTING: SBW
CHECKED: DJF
APPROVED: DJF

SCALE:
HORZ: 1"=40'
VERT: N/A
DATE: 6/27/12

564-570 HOLYOKE STREET

PLAN OF LAND IN
LUDLOW, MA
PREPARED FOR
ESTATE OF RONALD CHAISSON

PROJECT NUMBER
01315C
SHEET NUMBER
1 OF 1

DIMENSIONAL REQUIREMENTS

LOT IS ZONED:	INDUSTRIAL (A)	REQUIRED	PROPOSED
MIN. LOT AREA	40,000 S.F.	280,533 S.F.	
MIN. FRONTAGE	50'	50'	
FRONT YARD	25'	193'	
SIDE YARD	20'	29'	
REAR YARD	25'	28'	

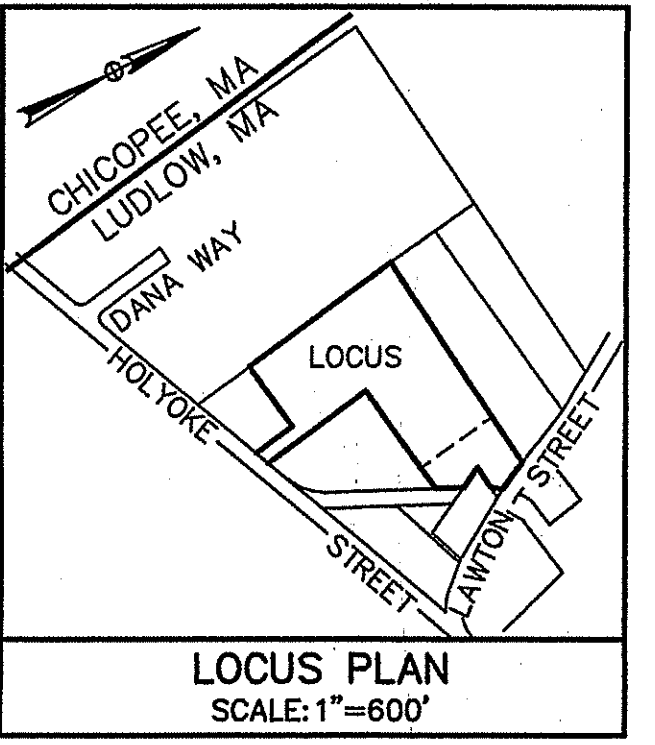
BUILDINGS:	SIZE	PARKING REQUIRED
BUILDING 1, 2 & 3	22,650	NO PARKING REQUIRED
BUILDING A & C:	3,930	NO PARKING REQUIRED
(100% STORAGE BUILDINGS)		
BUILDING D	9,660	6 SPACES*
(95% INDUSTRIAL/STORAGE 5% OFFICE)		
*ONE SPACE PER 2 EMPLOYEES ON TWO LARGEST SHIFTS COMBINED		

BUILDING B (LEASED)	2,430	1 SPACE*
(INDUSTRIAL/STORAGE/LIGHT REPAIRS)		
*ONE SPACE PER 2 EMPLOYEES ON TWO LARGEST SHIFTS COMBINED		

PARKING:	13 STANDARD SPACES =	13 SPACES EXISTING
	13 STANDARD SPACES	
	2 HANDICAPPED SPACES =	15 SPACES PROPOSED

MAXIMUM SEATING CAPACITY—NOT APPLICABLE
MAXIMUM SLEEPING CAPACITY—NOT APPLICABLE
MAXIMUM NUMBER OF EMPLOYEES — 12
VEGETATION — 24 SHRUBS, 269 TREES (EXISTING) TO BE MAINTAINED — APPROXIMATELY 50 PLANTINGS PROPOSED (SEE NOTE #9)
NO CHANGE TO OUTDOOR LIGHTING
SNOW STORAGE AREAS AS SHOWN ON PLAN
WAIVERS REQUEST TO SECTION 7.1.5.0 (1) LIGHTING PLAN (2) BUILDING ELEVATIONS (3) SIGNAGE.

DEBRA L. AMOS,
Bk. 11996 PG. 32
(M-3, P-12)



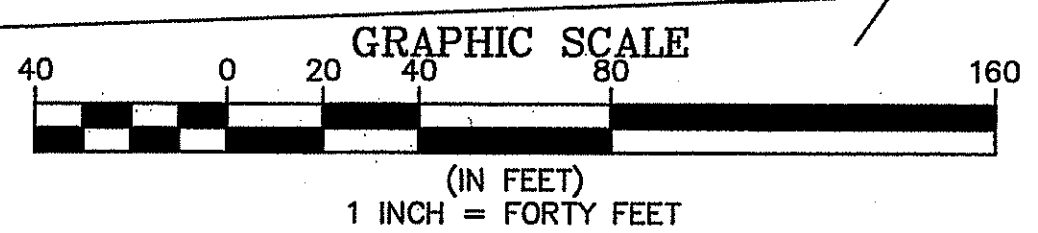
STRUCTURE TABLE

C.B. #100	GILMAR REALTY, LLC Bk. 16493 PG. 136 PLAN BK. 344 PG. 127 LOT 3-A (M-3, P-8C)
C.B. #101	
C.B. #102	
C.B. #103	

GILMAR REALTY, LLC
Bk. 16493 PG. 136
PLAN BK. 344 PG. 127
LOT 3-A
(M-3, P-8C)

DABROWSKI REALTY
HOLDINGS OF MA, LLC
Bk. 12272 PG. 274
PLAN BK. 324 PG. 114
PARCEL B

- NOTES:**
- THIS PLAN IS BASED ON A FIELD SURVEY BY THIS OFFICE DATED 02/14/2012 TO 02/17/2012.
 - HORIZONTAL DATUM IS PLAN NORTH AS SHOWN ON PLAN.
 - VERTICAL DATUM IS ASSUMED. T.B.M. IS AS SHOWN ON PLAN.
 - LOCATIONS OF UTILITIES SHOWN HEREON ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY, PLANS OF RECORD, AND OTHER AVAILABLE SOURCES. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATIONS OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED.
 - THE CONTRACTOR SHOULD VERIFY THE EXISTING CONDITIONS TO HIS SATISFACTION PRIOR TO BEGINNING ANY EXCAVATION. "DIG SAFE" SHALL BE NOTIFIED AT LEAST 72 HOURS PRIOR TO BEGINNING ANY WORK.
 - FOR FURTHER REFERENCE SEE ASSESSOR'S MAP 3 PARCEL 9A & 9E.
 - LAND IS ZONED INDUSTRIAL A.
 - EXISTING BUILDINGS ON ABUTTING PROPERTY SHOWN ON THIS PLAN FOR GRAPHICAL REPRESENTATION ONLY. BUILDING LOCATIONS BASED ON MAGIS AERIAL DATA.
 - PROPOSED LANDSCAPE BUFFER. PROPOSED ARBORVITAE/WHITE PINE MIX 6'-8" TALL PLANTINGS, PLANTED IN TWO STAGGERED ROWS 8'-12" CENTER TO CENTER.
 - MAXIMUM HEIGHT OF STORED ITEMS IN THIS AREA TO BE 12'.



NO.	DATE	BY	REVISIONS
1	08/22/12	SBW	ADD MAX. 12' STORAGE AREA
2	05/10/21	DJF	ADD LOT DIVISION PARCELS A-1 & A-2

SHERMAN & FRYDRYK
Land Surveying and Engineering
3 Converse Street, Suite 203
Palmer, MA 01069