



KEY MAP

LOCUS MAP

**GENERAL NOTES:**

CONTOUR INTERVAL IS 'X' REFERENCED TO A LOCAL ARBITRARY DATUM.

CONTRACTOR IS TO NOTIFY ENGINEER BEFORE PROCEEDING IF SUBSURFACE CONDITIONS DIFFER FROM THOSE INDICATED ON THIS PLAN.

ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL NOTIFY DIG SAFE AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF WORK.

THE PROPOSED WORK MAY FALL UNDER THE JURISDICTION OF THE WETLANDS PROTECTION ACT. CONTRACTOR AND/OR OWNER IS RESPONSIBLE TO OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.

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CONTRACTOR SHALL TRANSFER BENCHMARK TO A PERMANENT SUITABLE LOCATION AWAY FROM POSSIBLE DISTURBANCE UPON COMMENCEMENT OF CONSTRUCTION.

PROPERTY LINES AS SHOWN WERE ESTABLISHED FROM AVAILABLE MAPS AND MONUMENTATION FOUND IN THE FIELD AND ARE REPRESENTED AS APPROXIMATE ONLY.

TOPOGRAPHIC SURVEY PERFORMED BY BEK ASSOCIATES ON APRIL 4, 2022

APPROVAL OF THIS PLAN AND APPLICATION BY A BOARD OF HEALTH DOES NOT IMPLY OR CONSTITUTE APPROVAL BY ANY OTHER BOARD OF AGENCY.

**INDEX OF SHEETS**

1. EXISTING CONDITIONS
2. PROPOSED SITE PLAN
3. PROPOSED UTILITIES PLAN
4. LANDSCAPING AND LIGHTING PLAN
5. DETAIL SHEET

**PLANNING BOARD ENDORSEMENT**

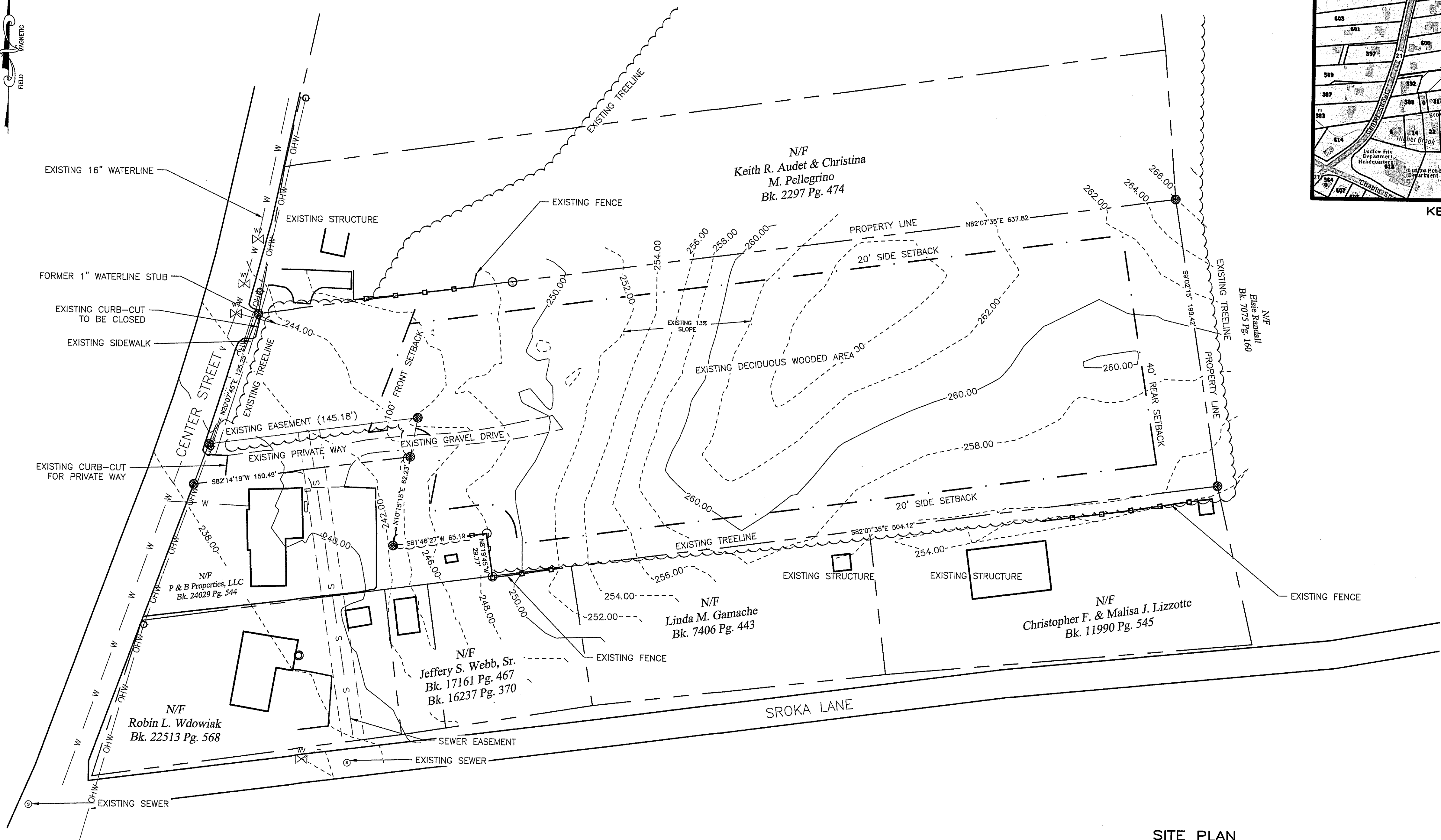
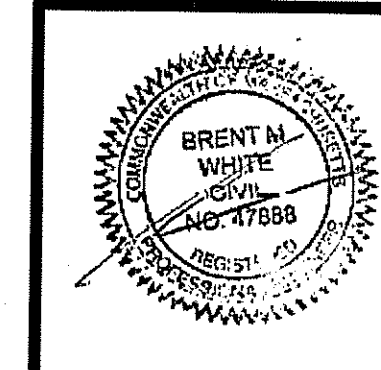

SM-0609 / SP-08

**EXISTING CONDITIONS PLAN**  
for  
**JLL REAL ESTATE, LLC**

590 CENTER STREET	LUDLOW, MA
1 RECONFIGURED PROPOSED STORAGE BUILDINGS TO REFLECT THE TOWN OF LUDLOW NOT ADOPTING THE 2021 INTERNATIONAL BUILDING CODE. PROPOSED BUILDING AND SPACING BETWEEN BUILDINGS AVOIDS THE REQUIREMENT FOR AUTOMATIC FIRE SPRINKLER SYSTEMS.	AJB 5/10/2022
NO.:	REVISION:
BY:	DATE:

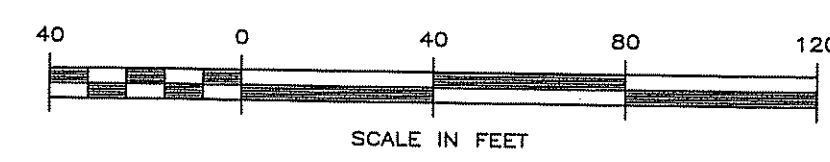
**WHITE ENGINEERING INC.**  
CIVIL & ENVIRONMENTAL  
55 SOUTH MERRIAM STREET, PITTSFIELD, MA 01201  
PHONE: (413) 448-8011 WEB: WHITEENG.COM FAX: (413) 448-8012  
LICENSED IN CONNECTICUT, MASSACHUSETTS, NEW YORK AND VERMONT

DATE: MAY 10, 2022  
DRAWN: RMJ  
CHECKED: BMW  
SCALE: AS NOTED  
DRAWING NO: **22-03-08**  
SHEET 1 OF 5



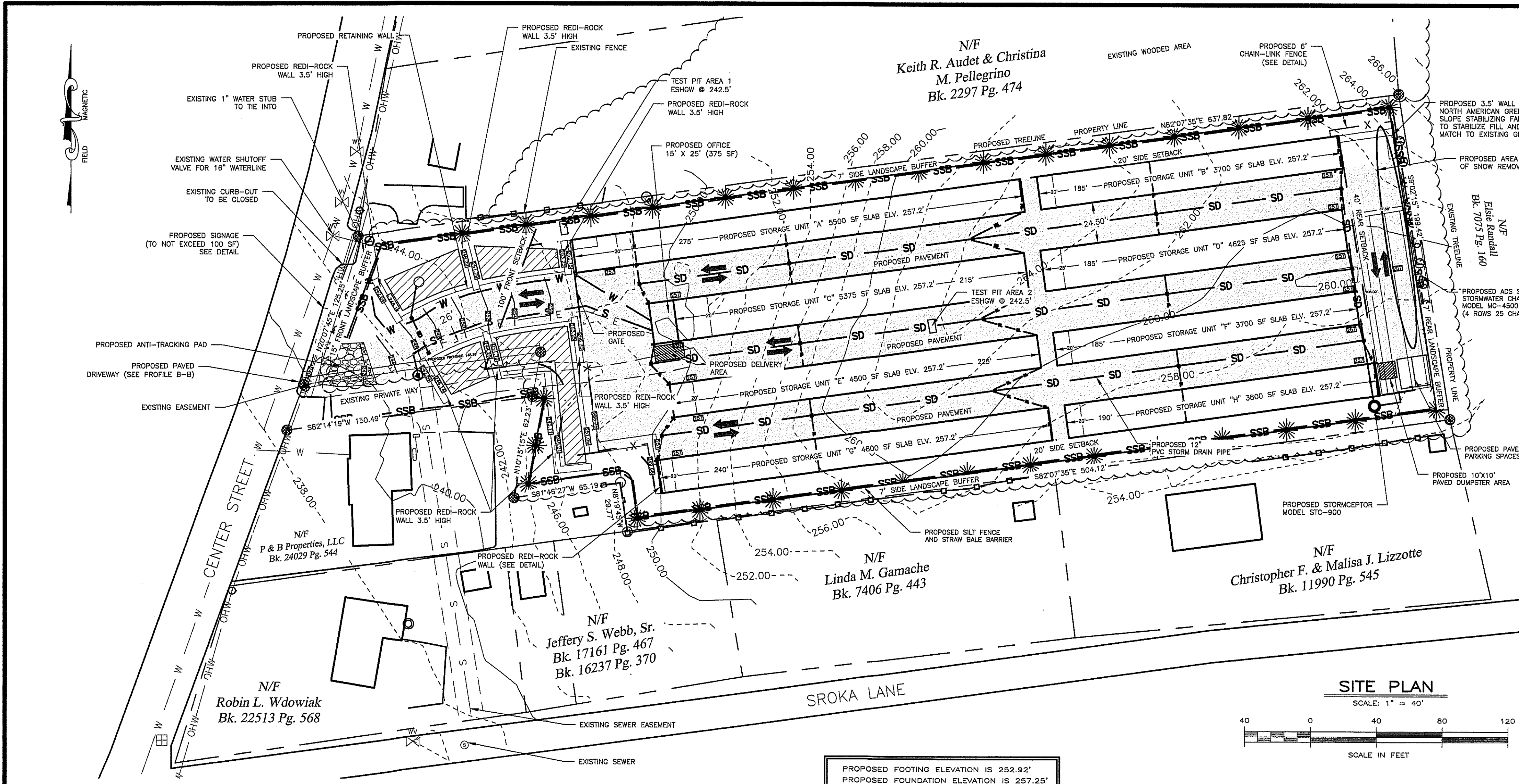
**SITE PLAN**

SCALE: 1" = 40'



**LEGEND**

- - - - - EXISTING CONTOURS
- - - - - PROPOSED CONTOURS
- - - - - APPROXIMATE PROPERTY LINE
- - - - - EXISTING GRAVEL ROAD
- - - - - EDGE OF PAVED ROAD
- - - - - EXISTING STRUCTURES
- - - - - PROPERTY LINE SETBACKS
- - - - - PROPOSED STRUCTURES
- - - - - EXISTING FENCE
- - - - - PROPOSED FENCE
- - - - - EXISTING SEWER
- - - - - EXISTING WATERLINE
- - - - - EXISTING WATER SHUT OFF VALVE
- - - - - EXISTING SEWER MANHOLE
- - - - - IRON PIPE
- - - - - IRON PIPE NOT FOUND
- - - - - UTILITY POLE



- LEGEND**
- 98 --- EXISTING CONTOURS
  - 100 --- PROPOSED CONTOURS
  - PROPOSED TREELINE
  - EDGE OF TREELINE(CANOPY)
  - APPROXIMATE PROPERTY LINE
  - EXISTING PRIVATE WAY
  - EDGE OF PAVED ROAD
  - EXISTING STRUCTURES
  - PROPERTY LINE SETBACKS
  - PROPOSED STRUCTURES
  - EXISTING FENCE
  - X --- PROPOSED WROUGHT IRON FENCE
  - SD --- PROPOSED 12" PVC PIPE
  - S --- PROPOSED SEWER LINE
  - W --- PROPOSED WATERLINE
  - --- PROPOSED UNDERGROUND ELECTRIC
  - S --- EXISTING SEWER
  - W --- EXISTING WATERLINE
  - SILT FENCE W/STAKED STRAW BALES
  - EXISTING OVER HEAD WIRES
  - PROPOSED ROOF LEADERS
  - UTILITY POLE
  - EXISTING WATER SHUT OFF VALVE
  - EXISTING SEWER MANHOLE
  - IRON PIPE
  - IRON PIPE NOT FOUND
  - PROPOSED DECIDUOUS TREE
  - PROPOSED CONIFEROUS TREE
  - PROPOSED SHRUB
  - ▨ PROPOSED WALL PLANTING AREA
  - ↔ TRAFFIC DIRECTION ARROWS
  - PROPOSED PAVEMENT AREA

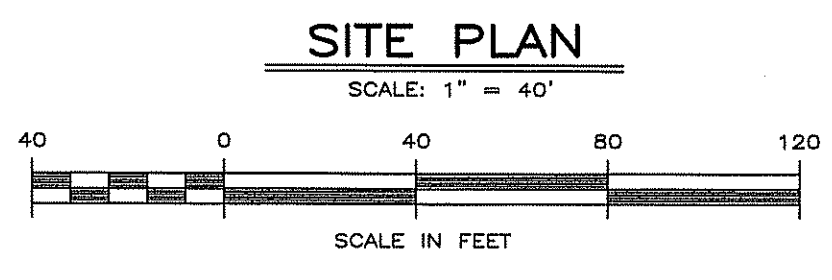
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 TOPOGRAPHIC AND BOUNDARY SURVEY PERFORMED BY BEK ASSOCIATES, INC. ON APRIL 1 & APRIL 4, 2022.  
 APPROVAL OF THIS PLAN AND APPLICATION BY A BOARD OF HEALTH DOES NOT IMPLY OR CONSTITUTE APPROVAL BY ANY OTHER BOARD OF AGENCY.

**INTENSITY REGULATIONS**

AGRICULTURE MODERATE DISTRICT OVERLAY	REQUIRED	EXISTING	PROPOSED
LOT AREA	40,000 SF	121,915 SF	121,915 SF
LOT FRONTAGE	140'	145.18'	145.18'
FRONT SETBACK	100'	100'	100'
SIDE SETBACK	20'	20'	20'
REAR SETBACK	40'	40'	40'

**TABLE 3: LANDSCAPING**

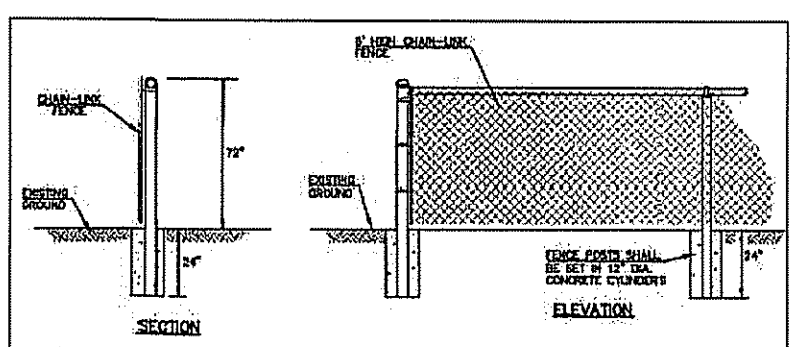
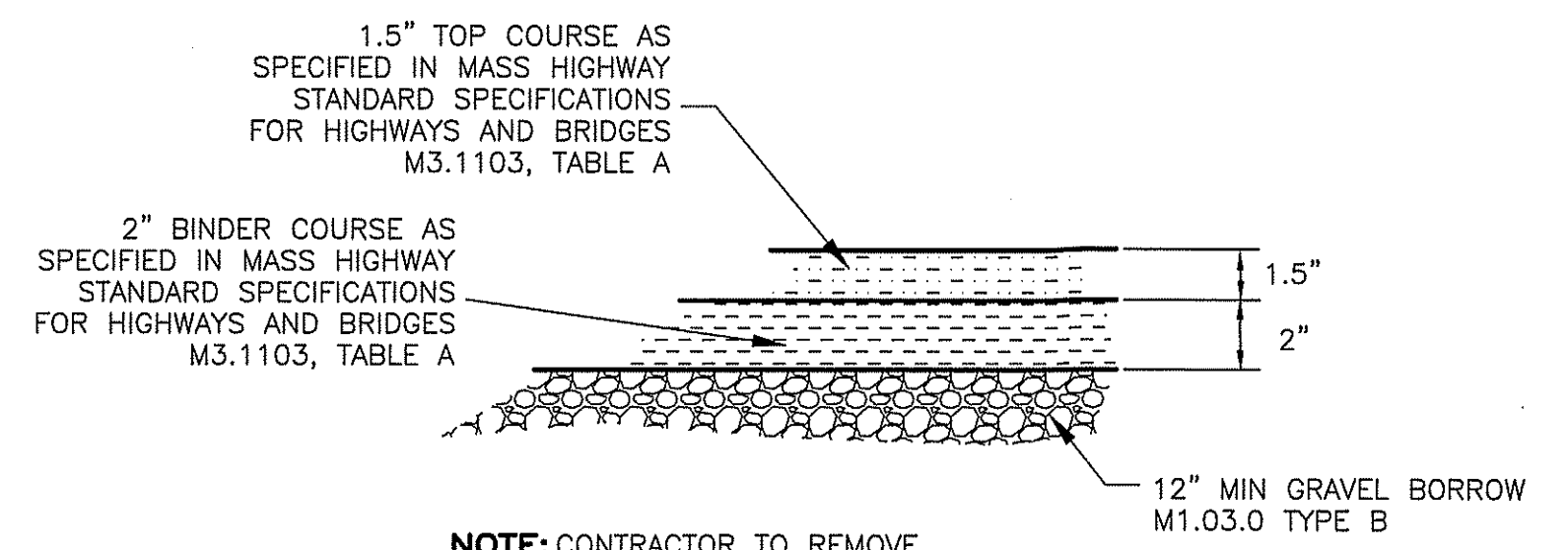
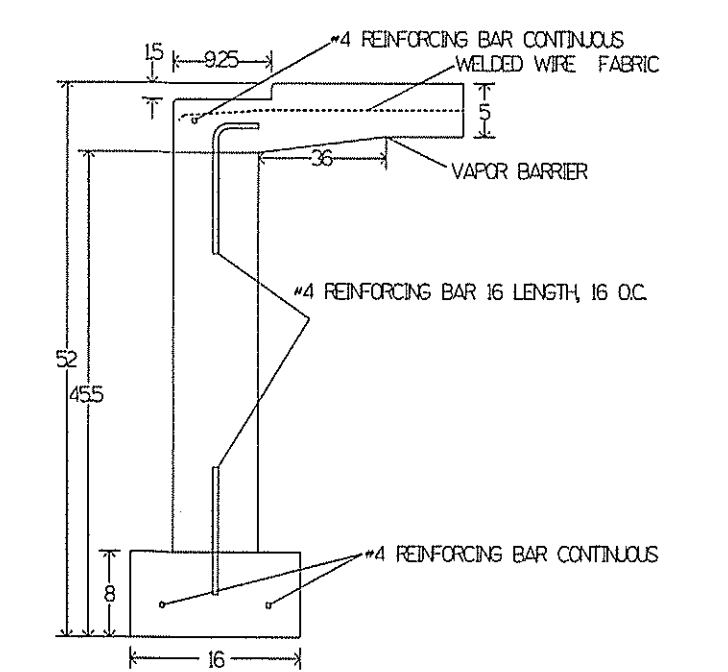
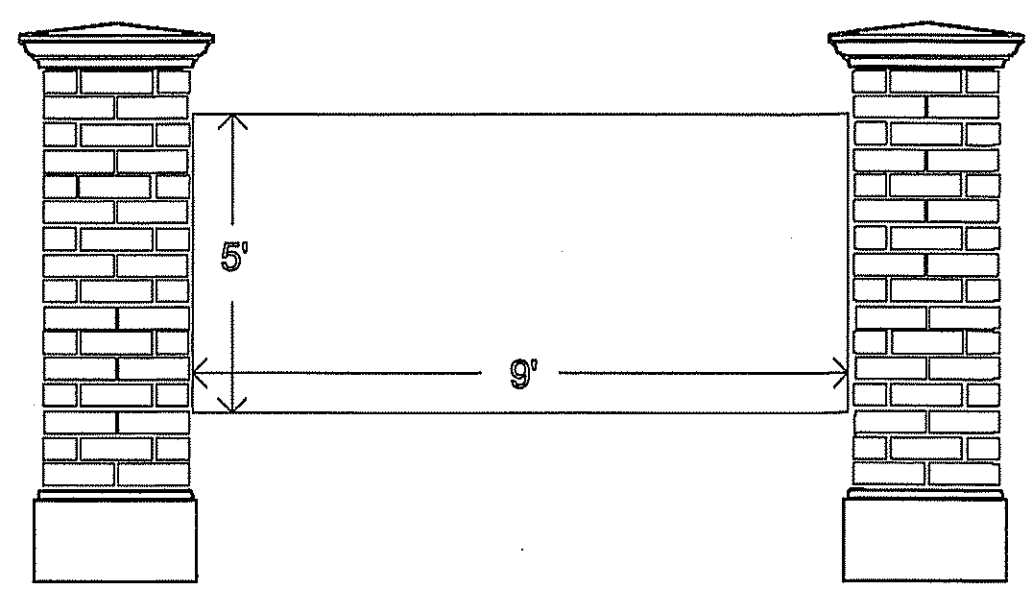
CIRCULATION %	7%	0%	8%
FRONT BUFFER	15'	15'	15'
SIDE/REAR BUFFER	7'	7'	7'



PROPOSED FOOTING ELEVATION IS 252.92'  
 PROPOSED FOUNDATION ELEVATION IS 257.25'  
 PROPOSED BUILDING HEIGHT IS 266.25'

**SECTION 7.1.5(N) REQUIRE SITE PLAN CONTENTS CHART**

AREA OF LOT	121,915 S.F.
AREA AND SIZE OF THE BUILDING	36,000 S.F.
MAXIMUM AREA OF BUILDING TO BE USED FOR SELLING OFFICES, BUSINESS, INDUSTRIAL, OR OTHER USES	375 S.F.
MAXIMUM NUMBER OF EMPLOYEES	N/A
MAXIMUM SEATING CAPACITY	N/A
MAXIMUM SLEEPING CAPACITY	N/A
NUMBER OF PARKING SPACES REQUIRED FOR THE INTENDED USE, BASED UPON SECTION 6.4	N/A
NUMBER OF PARKING SPACES EXISTING AT THE SITE (INCLUDING STREET PARKING ADJACENT TO SITE)	N/A
NUMBER OF TREES AND/OR SHRUBS	~105,400 S.F. OF WOODED AREA
NUMBER OF TREES AND/OR SHRUBS SHOWN ON PLAN	43 TREES, 34 SHRUBS



**PROPOSED CONDITIONS**

SURFACE	AREA (SF)
PAVED ROAD	46695
BUILDINGS	36375
LAWN	25963
LANDSCAPE BUFFER	11177
WALLS	1705
TOTAL	121915
TOTAL IMPREVIOUS	84775

**PLANNING BOARD ENDORSEMENT**


**PROPOSED CONDITIONS PLAN**  
 for  
**JLL REAL ESTATE, LLC**

590 CENTER STREET LUDLOW, MA

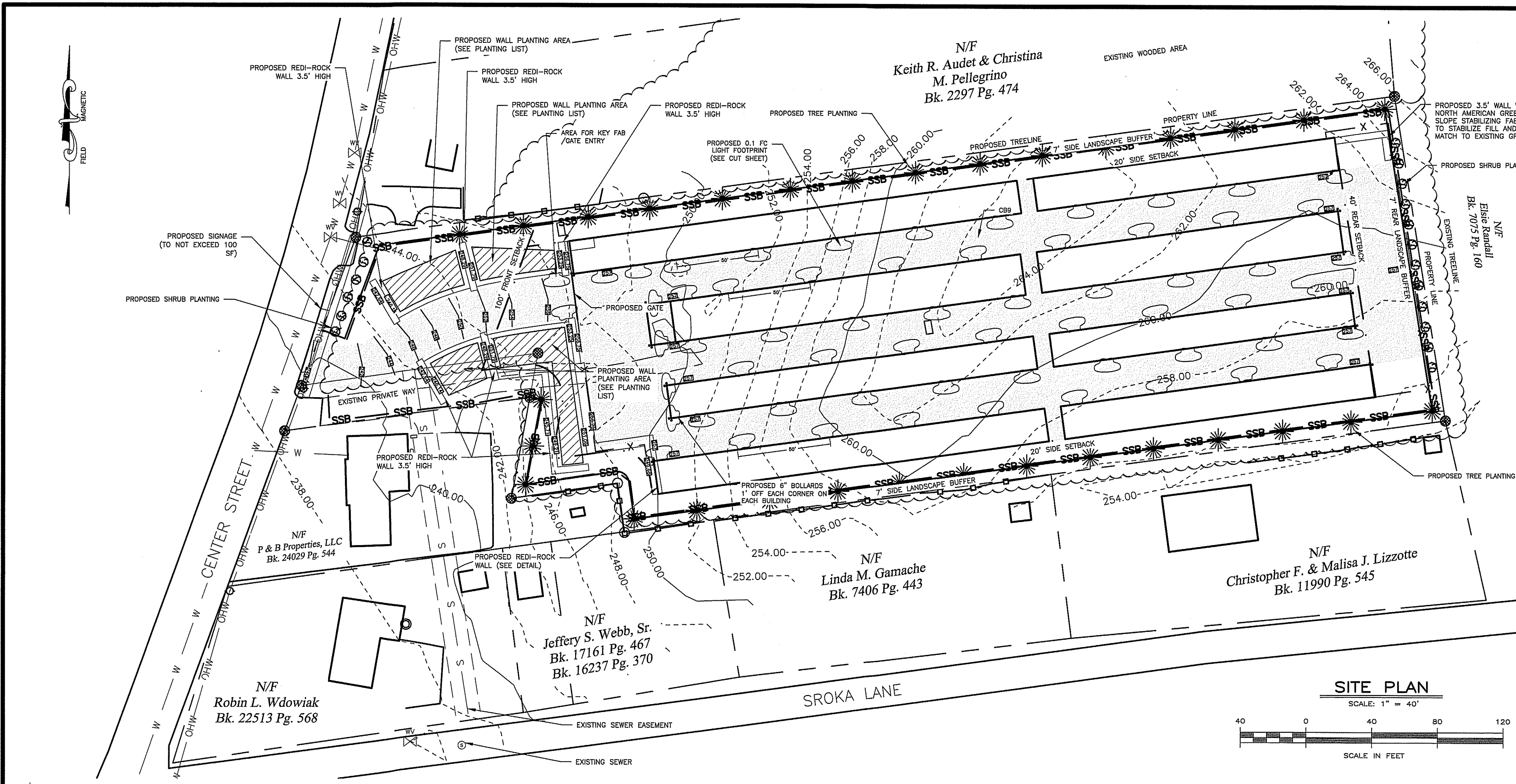
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NO. \_\_\_\_\_ REVISION \_\_\_\_\_ BY \_\_\_\_\_ DATE \_\_\_\_\_

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- ### LEGEND
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  - PROPOSED PAVEMENT AREA

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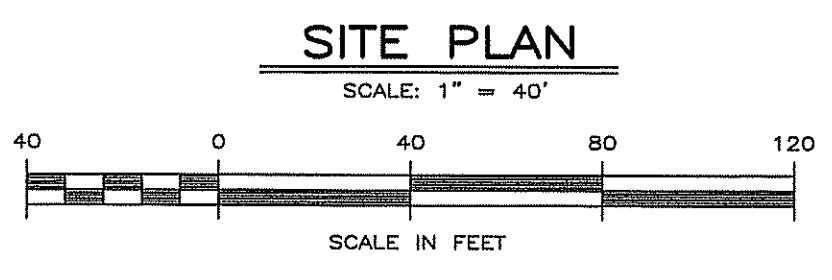
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- ### PLANTING LIST
- LANDSCAPE BUFFER:
- 31 FRASIER FIR (ABIES FRASERI)
  - 6-7" IN HEIGHT SPACED MIN. 8' APART
  - 18 LILAC (SYRINGA VULGARIS)
  - 4-5' IN HEIGHT
  - 4 SHRUBS
  - 6 PLANTS FOR FRONT, 12 PLANTS FOR REAR
- WALL PLANTINGS (IN BETWEEN EACH WALL):
- 3 SPRUCE OR FIR TREES
  - 5-6' IN HEIGHT
  - 4 SHRUBS
  - 3-4' IN HEIGHT



### Performance Data

#### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 50°F to 90°F.

Average Ambient Temperature (°F)	Multiplier
50	1.00
55	0.95
60	0.90
65	0.85
70	0.80
75	0.75
80	0.70
85	0.65
90	0.60

#### Electrical Load

Wattage	Current (A)	Current (A)	Current (A)	Current (A)	Current (A)
100	0.45	0.45	0.45	0.45	0.45
200	0.90	0.90	0.90	0.90	0.90
300	1.35	1.35	1.35	1.35	1.35
400	1.80	1.80	1.80	1.80	1.80
500	2.25	2.25	2.25	2.25	2.25
600	2.70	2.70	2.70	2.70	2.70
700	3.15	3.15	3.15	3.15	3.15
800	3.60	3.60	3.60	3.60	3.60
900	4.05	4.05	4.05	4.05	4.05
1000	4.50	4.50	4.50	4.50	4.50

#### Projected LED Lumen Maintenance

Use these factors to determine relative lumen output for the LED's rated life span. Use these factors to determine relative lumen output for average ambient temperatures from 50°F to 90°F.

Hours of Operation	Multiplier
0	1.00
10,000	0.95
20,000	0.90
30,000	0.85
40,000	0.80
50,000	0.75
60,000	0.70
70,000	0.65
80,000	0.60
90,000	0.55
100,000	0.50

#### Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series LED Spot 1 Homepage.

Photometric data for the DS9W LED 200 1000 40K. Distances are in units of mounting height (H).

### Options and Accessories

- TM (Anti-ASTD) lenses
- HS - House-side shields
- DSW - Wind-deterrent shields
- WG - Wire guard
- VG - Ventral guard
- DLL - Diffused dry lens

### FEATURES & SPECIFICATIONS

**INTENDED USE:** The energy saving, long life and easy-to-install design of the D-Series Wall Spot 1 makes it the smart choice for building-mounted outdoor and illumination for nearly any facility.

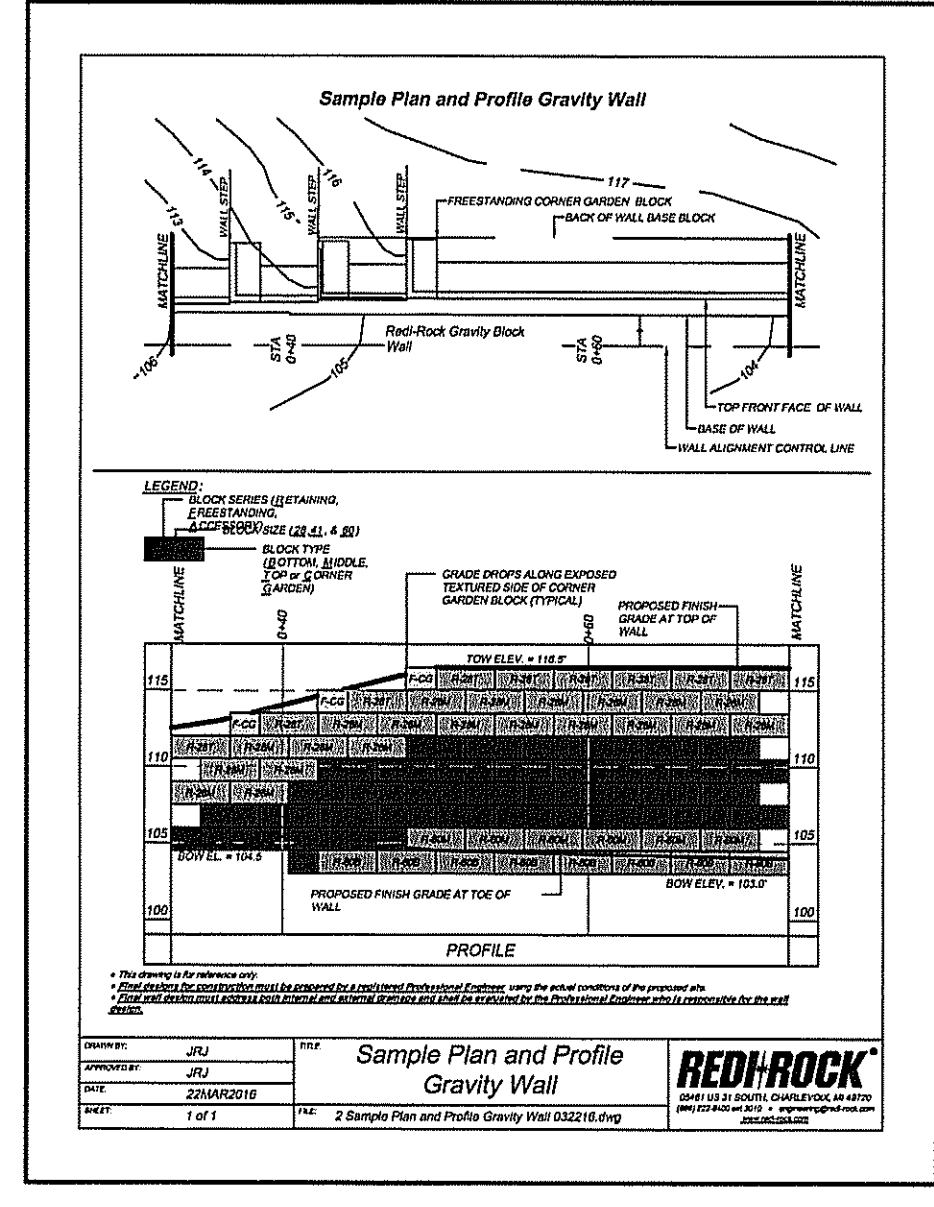
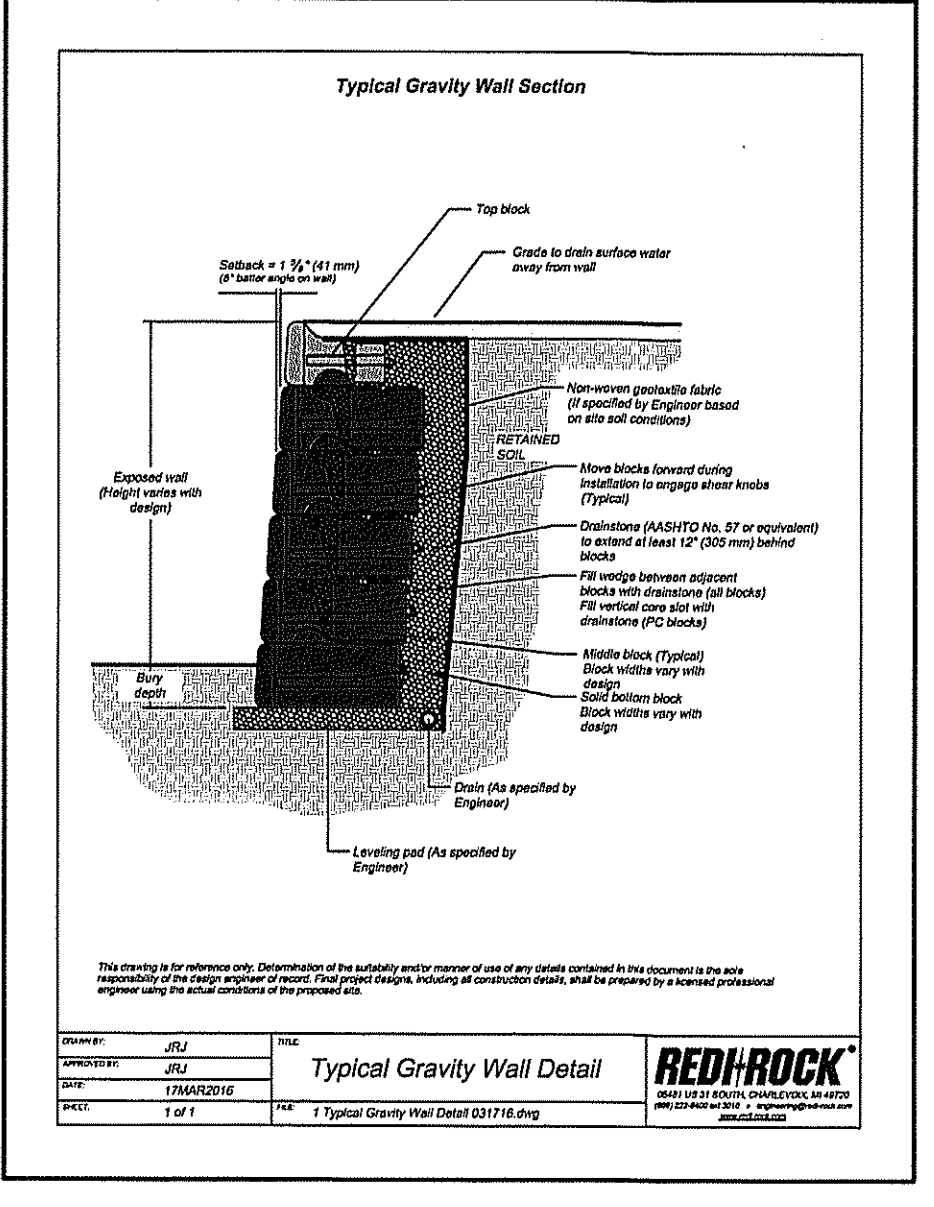
**CONSTRUCTION:** Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conduction and convection cooling. Modular design allows for easy replacement. The LED optic is mounted to the door to evenly distribute light from the light engine for long operating temperatures and long life through completely sealed against moisture and environmental contaminants (IP68).

**FINISH:** Exterior parts are protected by a clear-coated Super-Durable TIG-Flameless powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a uniform finish. Ideal for a finish that can withstand extreme climate change without cracking or peeling. Available in textured and non-textured finishes.

**QUALITY:** Precision-molded respiratory acrylic lenses provide multiple photometric distribution patterns and optics.

**ELECTRICAL:** Light engines consist of 10 high-bay LEDs mounted to a metal core circuit board to maximize heat dissipation and provide long life (up to 100,000 hrs at 25°C, Class 1 electronic driver in a 25°C environment).

One Lithonia Way • Conyers, Georgia 30012 • Phone 800.279.8041 • www.lithonia.com  
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### REDI-ROCK WALL DETAILS

NTS

## PROPOSED LIGHTING & LANDSCAPING PLAN

### for JLL REAL ESTATE, LLC

590 CENTER STREET, LUDLOW, MA

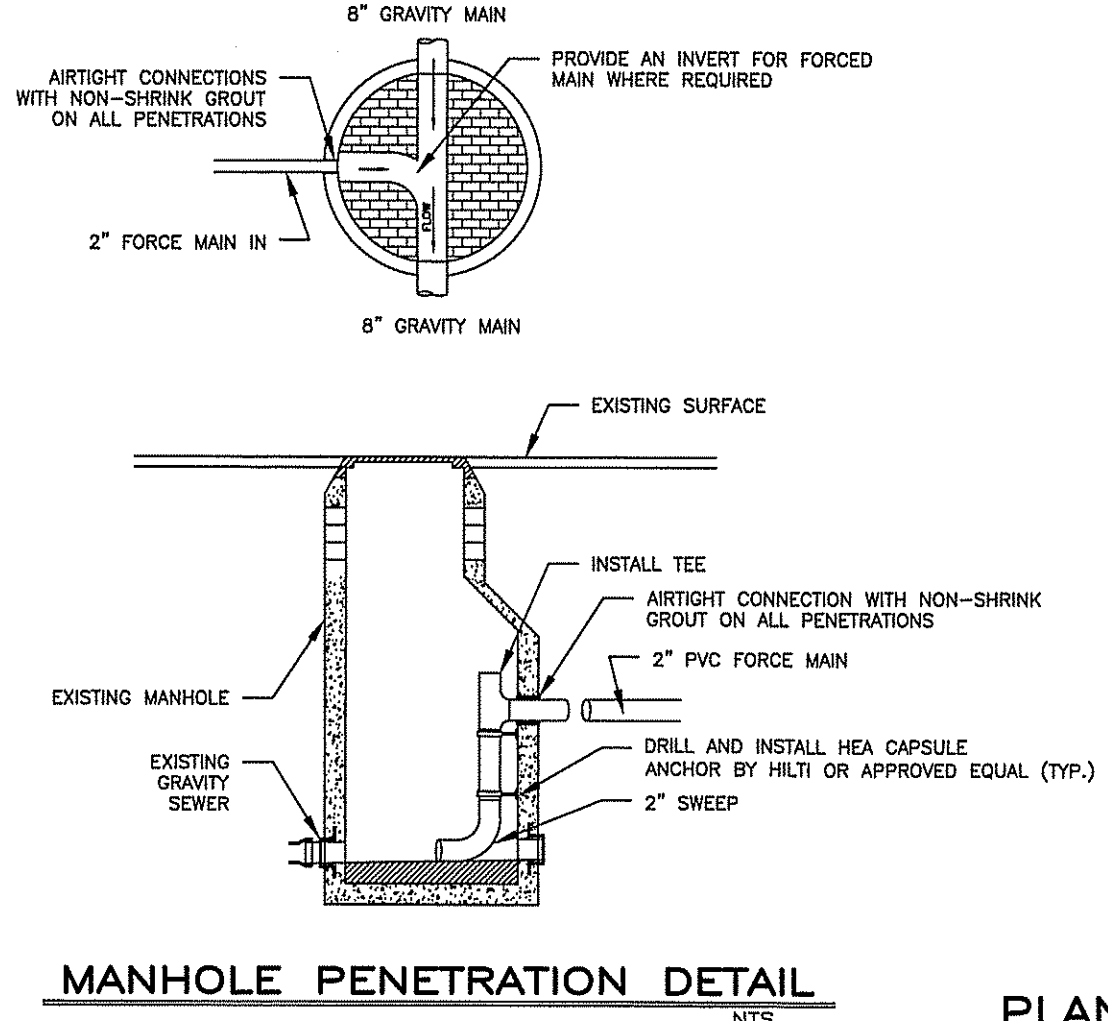
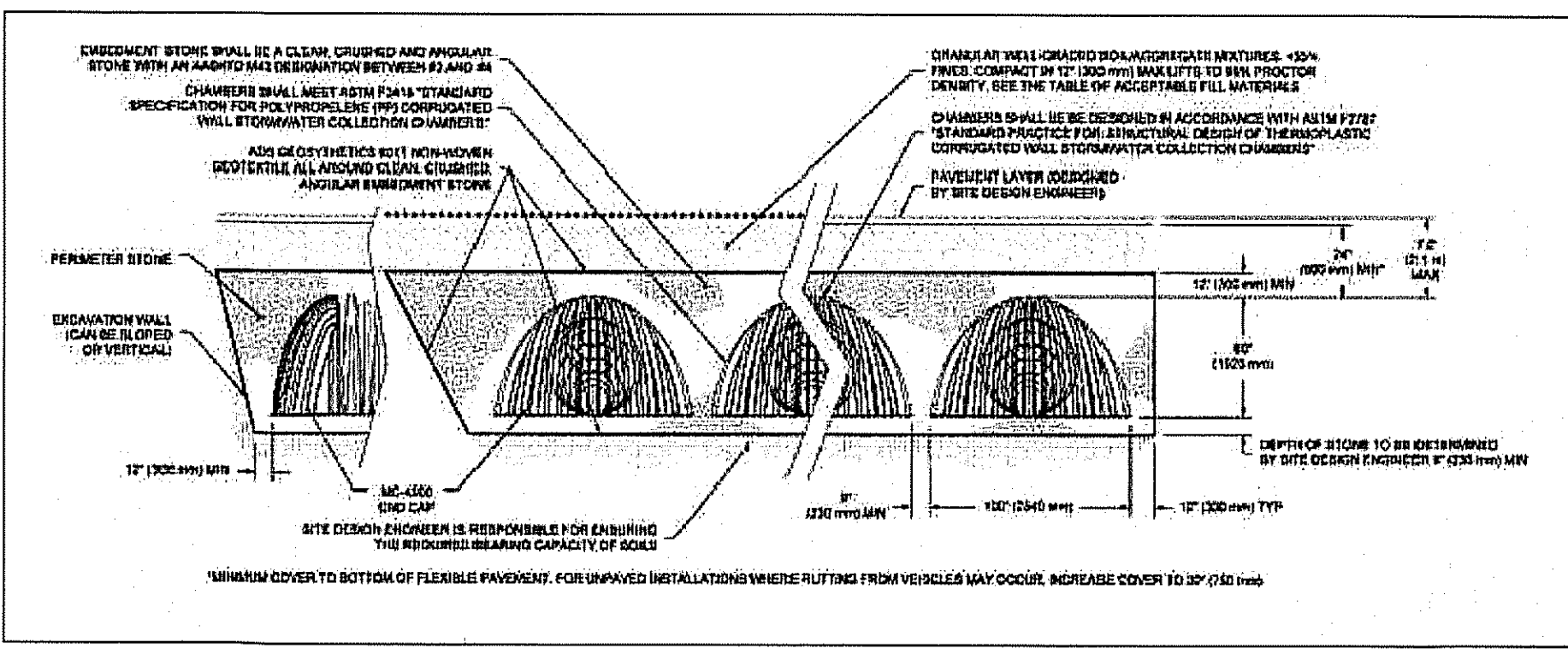
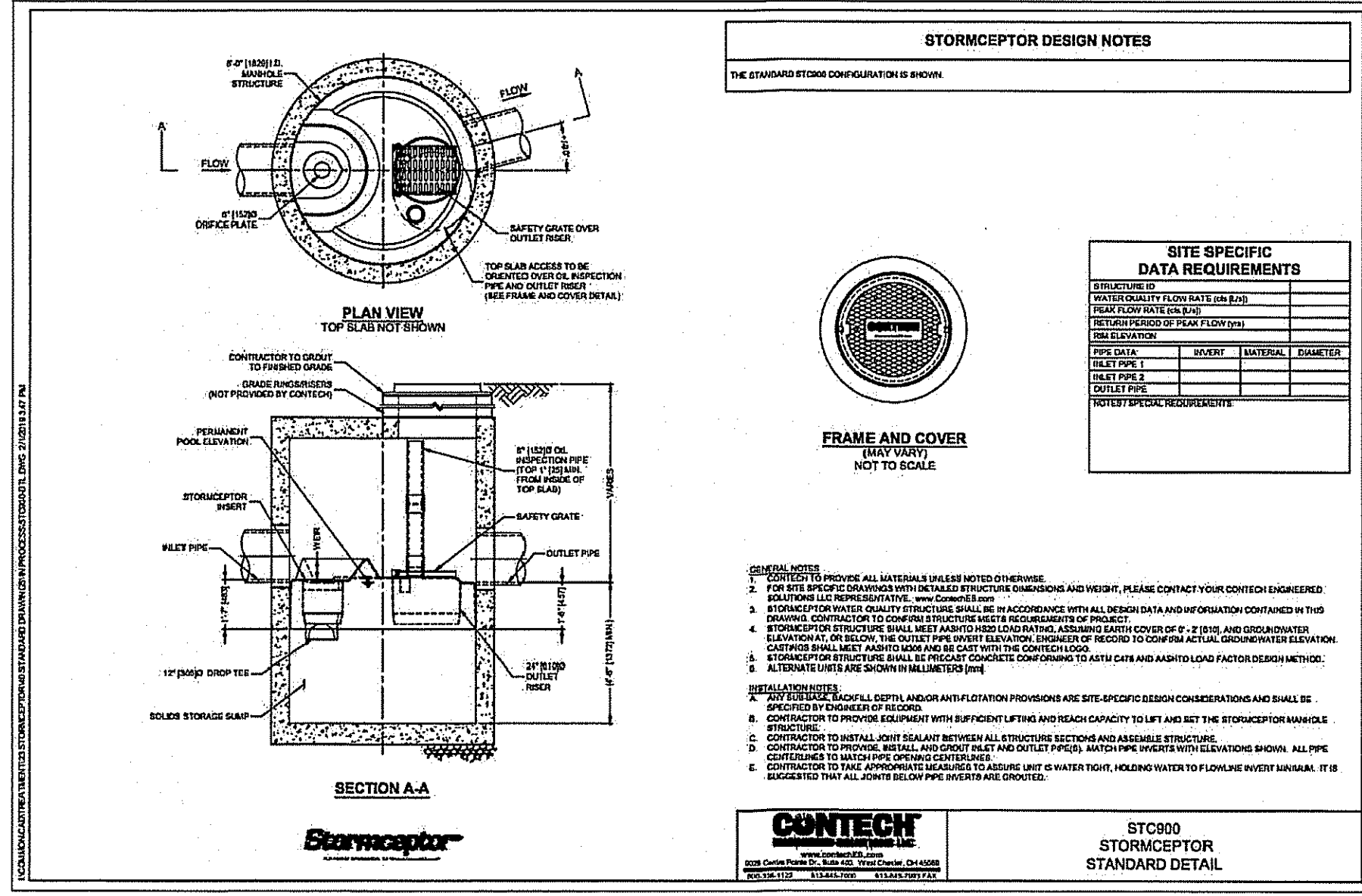
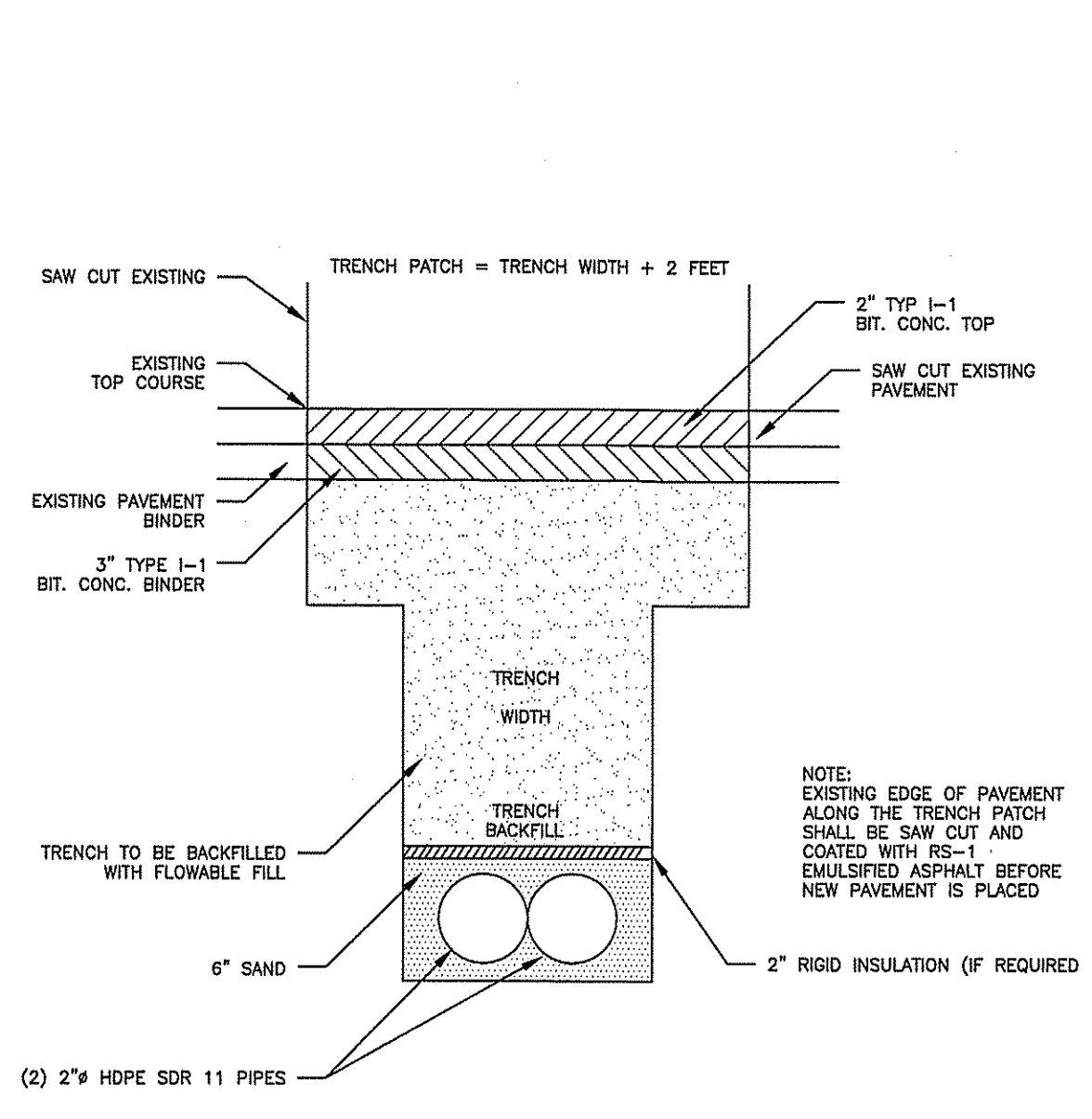
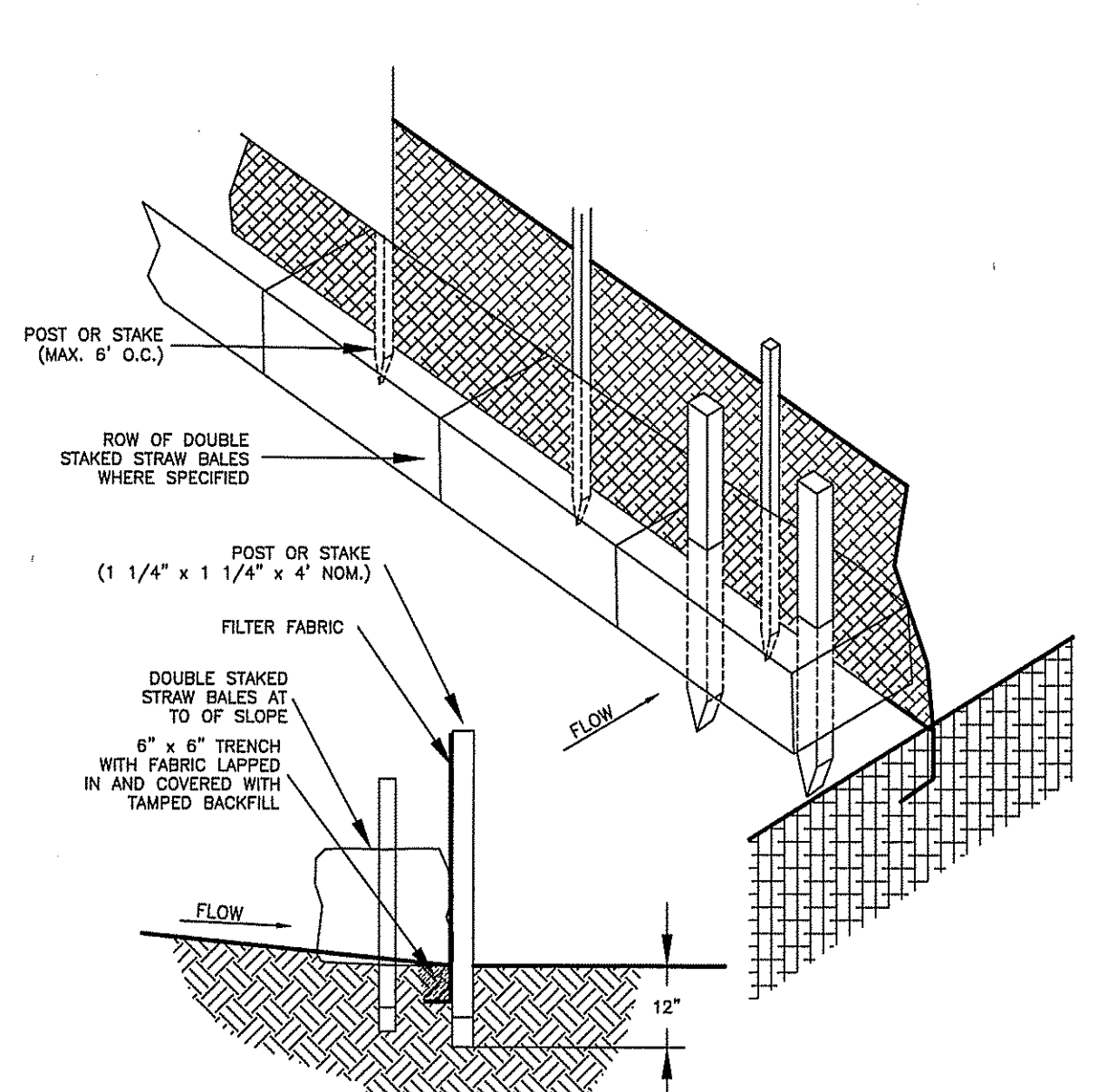
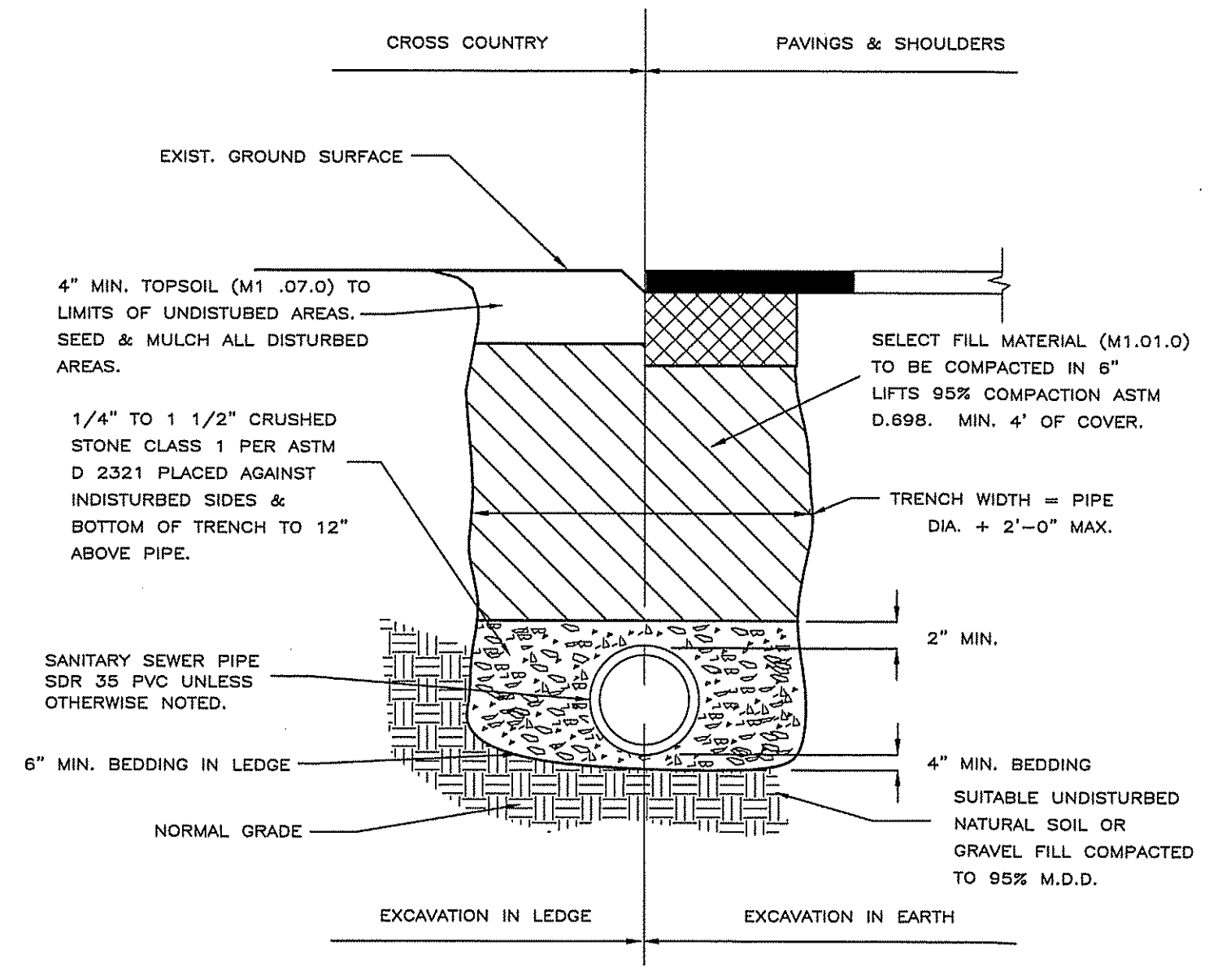
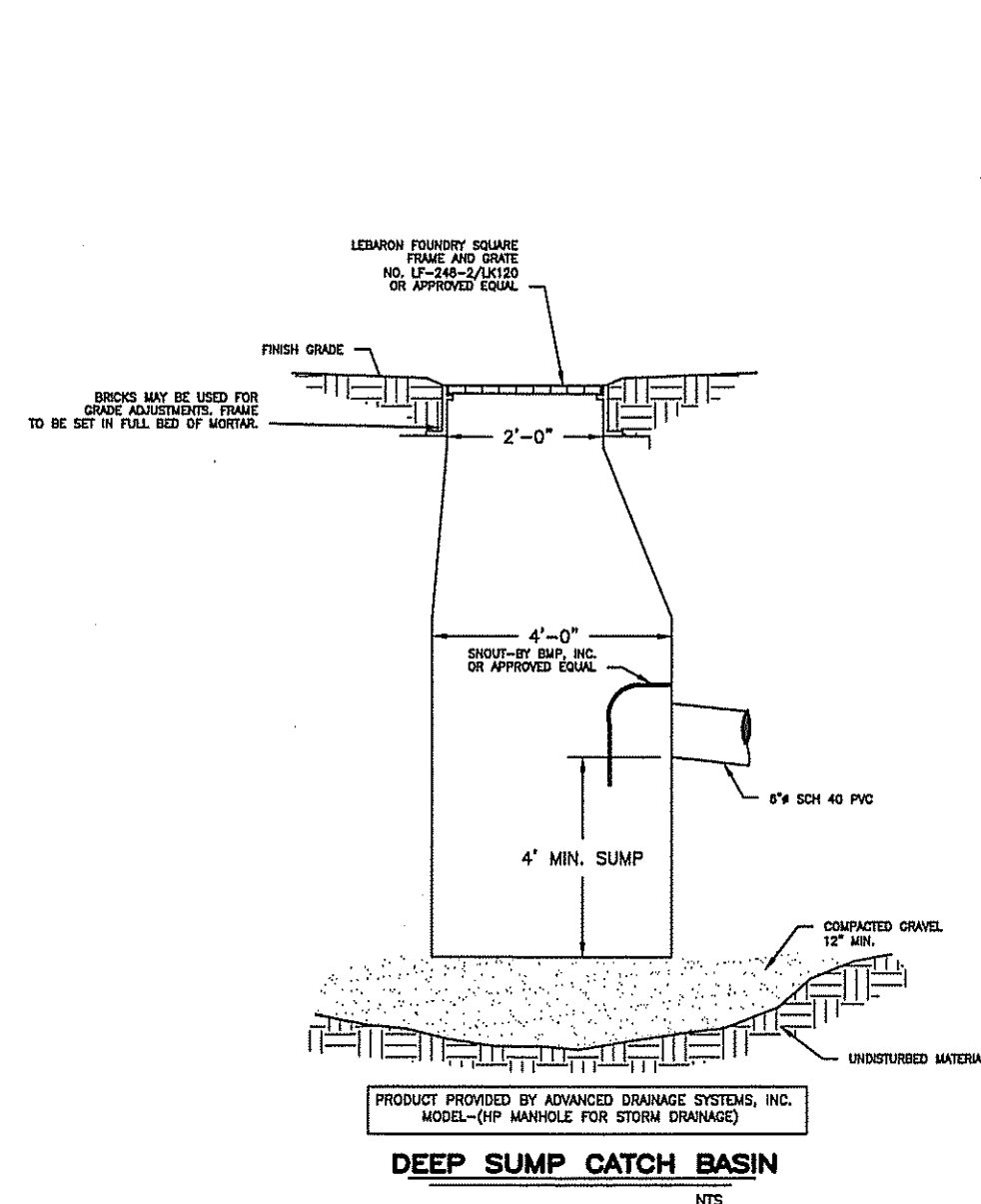
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### LIGHTING FOOTPRINT CUT SHEET

NTS



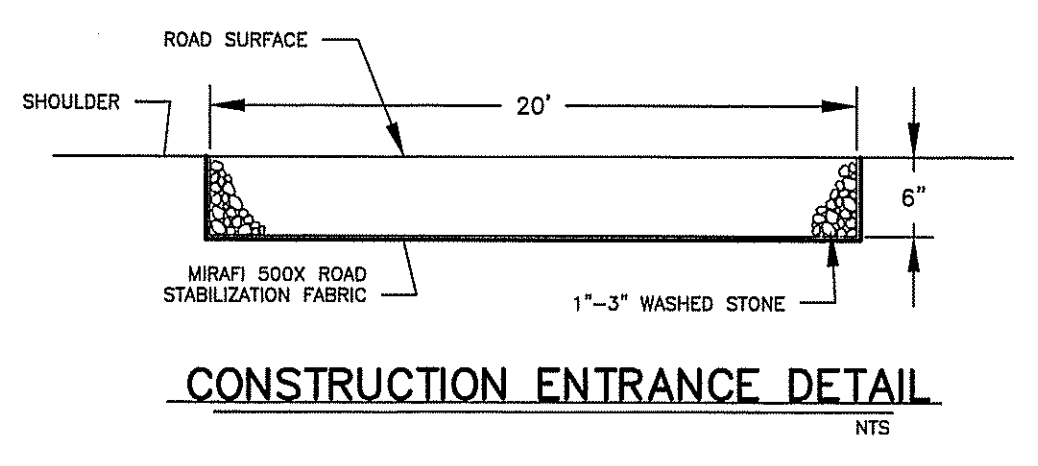
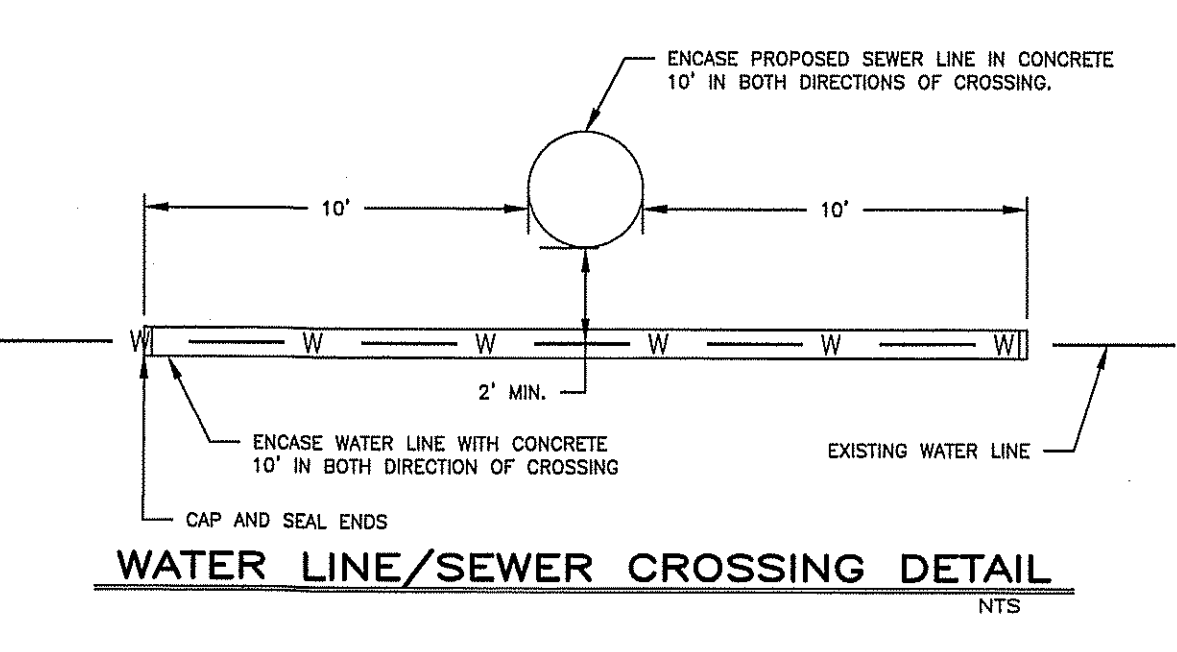
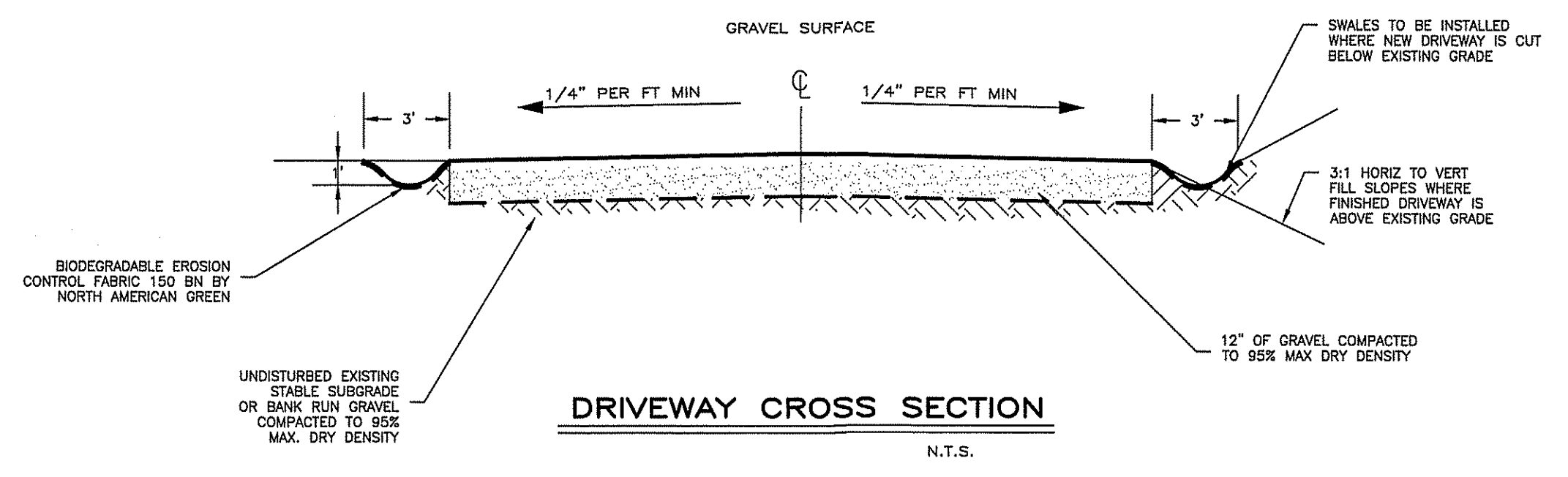
- CONSTRUCTION NOTES:**
1. EROSION CONTROL SILTFENCE TO BE INSTALLED AND MAINTAINED BY CONTRACTOR PRIOR TO THE START OF WORK.
  2. EROSION CONTROL SILTFENCE TO REMAIN IN PLACE UNTIL SITE HAS STABILIZED AND VEGETATION HAS BECOME ESTABLISHED.
  3. ALL DISTURBED AREAS ARE TO BE REGRADED, SEEDED AND MULCHED AT THE COMPLETION OF WORK IN THAT AREA.
  4. ALL MATERIALS AND EQUIPMENT ARE TO BE STORED WITHIN THE LIMITS OF THE SILTFENCE.
  5. SILTFENCE TO SERVE AS THE LIMIT OF WORK AREA.
  6. NO EQUIPMENT IS TO BE FUELED OR FUEL STORED WITHIN 100-FT. OF RESOURCE AREA WITHOUT PRIOR CONSENT FROM CONSERVATION COMMISSION.
  7. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE MASSACHUSETTS WETLANDS PROTECTION ACT AND ALL APPLICABLE STATE AND LOCAL BY-LAWS.
  8. ALL MATERIALS TO BE STOCKPILED ON SITE OVERNIGHT SHALL BE TARPED OR COVERED BY OTHER APPROVED METHOD.

**STORMCEPTOR DETAIL (STC900)**  
NTS

**STORMWATER CHAMBERS CROSS-SECTION**  
NTS

**MANHOLE PENETRATION DETAIL**  
NTS

**PLANNING BOARD ENDORSEMENT**

**DETAIL SHEET**  
for  
**JLL REAL ESTATE, LLC**

590 CENTER STREET, LUDLOW, MA 01022

1	RECONFIGURED PROPOSED STORAGE BUILDINGS TO REFLECT THE TOWN OF LUDLOW NOT ADOPTING THE 2021 INTERNATIONAL BUILDING CODE. PROPOSED BUILDING AND SPACING BETWEEN BUILDINGS AVOIDS THE REQUIREMENT FOR AUTOMATIC FIRE SPRINKLER SYSTEMS.	AJB	5/10/2022
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**BRENT M. WHITE**  
REGISTERED PROFESSIONAL ENGINEER  
NO. 47888  
EXPIRES 12/31/23

**22-03-08**  
SHEET 5 OF 5