Site Plans

Issued for **Local Approval** November 13, 2020 Date Issued November 13, 2020 Latest Issue

Mill #8 Adaptive Reuse

1 State Street Ludlow, Massachusetts

Owner

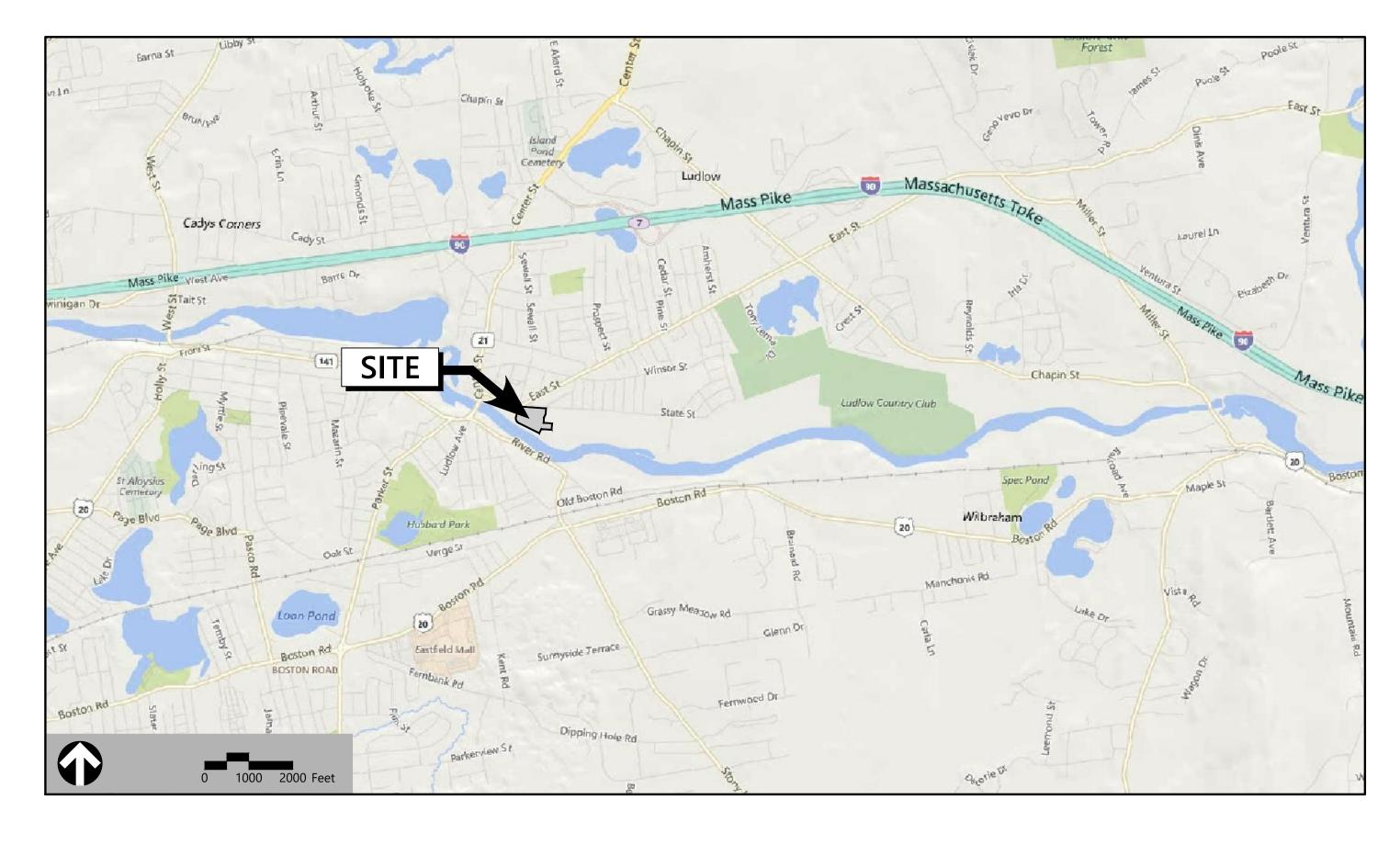
WestMass Area Development Corporation 255 Padgette Street #1 Chicopee, Massachusetts 01022

Applicant

WinnDevelopment 1 Washington Mall, Suite 500 Boston, MA 02108

Assessor's Map: 14B

Lot: 130



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No.	Drawing Title Latest Issu		
C1.01	Legend, Abbreviations and General Notes	November 13, 2020	
C2.01	Layout and Materials Plan	November 13, 2020	
C3.01	Grading, Drainage and Erosion Control Plan	November 13, 2020	
C4.01	Utility Plan	November 13, 2020	
C5.01-5.02	Site Details	November 13, 2020	
L1.01	Planting Plan	November 13, 2020	
L2.01	Planting Details	November 13, 2020	

Refe	Reference Drawings				
No.	Drawing Title	Latest Issue			
	Plan of Land in Ludlow Massachusetts	November 13, 2020			
SE-1	Site Lighting Plan	November 12, 2020			
SE-2	Photometric Plan	November 12, 2020			
A4.01	Proposed Exterior Elevations	December 4, 2020			
A4.02	Proposed Exterior Elevations	December 4, 2020			



Site Lighting Designer

Engineering Advantage, Inc. 800 Main Street Fifth Floor Waltham, MA 02541 617.288.3969

Architect

The Architectural Team Inc. 50 Commandant's Way at Admiral's Hill Chelsea, MA 02150 617.889.4402

Landscape Architect and Traffic Engineer

Worcester, MA 01608

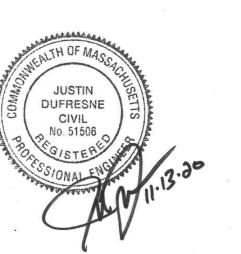
508.752.1001

101 Walnut Street PO Box 9151 Watertown, MA 02471 617.924.1770

Land Surveyor

Heritage Surveys, Inc. 241 College Highway Street PO Box 1 Southampton, MA 01073 413.527.3600

APPROVED BY THE LUDLOW PLANNING BOARD



BLSF BZ NDZ 200'RA EOP BB BC CC	10+00 10+00 EOP BB BC CC CG ECC MCC PCC SGE VGC	PROPERTY LINE PROJECT LIMIT LINE RIGHT-OF-WAY/PROPERTY LINE EASEMENT BUILDING SETBACK PARKING SETBACK BASELINE CONSTRUCTION LAYOUT ZONING LINE TOWN LINE LIMIT OF DISTURBANCE WETLAND LINE WITH FLAG FLOODPLAIN BORDERING LAND SUBJECT TO FLOODING WETLAND BUFFER ZONE NO DISTURB ZONE 200' RIVERFRONT AREA GRAVEL ROAD EDGE OF PAVEMENT BITUMINOUS BERM BITUMINOUS CURB CONCRETE CURB CURB AND GUTTER EXTRUDED CONCRETE CURB MONOLITHIC CONCRETE CURB PRECAST CONC. CURB SLOPED GRAN. EDGING VERT. GRAN. CURB LIMIT OF CURB TYPE SAWCUT	27.35 TC × 26.85 BC × 132.75 × 45.0 TW × 38.5 BW ×	27.35 TC × 26.85 BC × 132.75 × 45.0 TW × 38.5 BW ×	CONCRETE HEAVY DUTY PAVEMENT BUILDINGS RIPRAP CONSTRUCTION EXIT TOP OF CURB ELEVATION BOTTOM OF CURB ELEVATION SPOT ELEVATION TOP & BOTTOM OF WALL ELEVATION BORING LOCATION TEST PIT LOCATION MONITORING WELL UNDERDRAIN DRAIN ROOF DRAIN SEWER FORCE MAIN OVERHEAD WIRE WATER FIRE PROTECTION DOMESTIC WATER GAS ELECTRIC STEAM TELEPHONE FIRE ALARM CABLE TV CATCH BASIN CONCENTRIC DOUBLE CATCH BASIN CONCENTRIC DUBLE CATCH BASIN ECCENTRIC GUTTER INLET DRAIN MANHOLE CONCENTRIC
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CC CC CC SGE VGC	CC CG ECC MCC PCC SGE VGC	CONCRETE CURB CURB AND GUTTER EXTRUDED CONCRETE CURB MONOLITHIC CONCRETE CURB PRECAST CONC. CURB SLOPED GRAN. EDGING VERT. GRAN. CURB LIMIT OF CURB TYPE SAWCUT	——————————————————————————————————————	——————————————————————————————————————	ELECTRIC STEAM TELEPHONE FIRE ALARM CABLE TV CATCH BASIN CONCENTRIC CATCH BASIN ECCENTRIC DOUBLE CATCH BASIN CONCENTRIC DOUBLE CATCH BASIN ECCENTRIC GUTTER INLET
CC CC CC SGE VGC	CG ECC MCC PCC SGE VGC	CURB AND GUTTER EXTRUDED CONCRETE CURB MONOLITHIC CONCRETE CURB PRECAST CONC. CURB SLOPED GRAN. EDGING VERT. GRAN. CURB LIMIT OF CURB TYPE SAWCUT BUILDING	——————————————————————————————————————	——————————————————————————————————————	STEAM TELEPHONE FIRE ALARM CABLE TV CATCH BASIN CONCENTRIC CATCH BASIN ECCENTRIC DOUBLE CATCH BASIN CONCENTRIC DOUBLE CATCH BASIN ECCENTRIC GUTTER INLET
CC CC SGE VGC	MCC PCC SGE VGC	EXTRUDED CONCRETE CURB MONOLITHIC CONCRETE CURB PRECAST CONC. CURB SLOPED GRAN. EDGING VERT. GRAN. CURB LIMIT OF CURB TYPE SAWCUT BUILDING	——————————————————————————————————————	——————————————————————————————————————	TELEPHONE FIRE ALARM CABLE TV CATCH BASIN CONCENTRIC CATCH BASIN ECCENTRIC DOUBLE CATCH BASIN CONCENTRIC DOUBLE CATCH BASIN ECCENTRIC GUTTER INLET
CC CC SGE VGC	MCC PCC SGE VGC	MONOLITHIC CONCRETE CURB PRECAST CONC. CURB SLOPED GRAN. EDGING VERT. GRAN. CURB LIMIT OF CURB TYPE SAWCUT BUILDING	—— CATV———	CATV——	FIRE ALARM CABLE TV CATCH BASIN CONCENTRIC CATCH BASIN ECCENTRIC DOUBLE CATCH BASIN CONCENTRIC DOUBLE CATCH BASIN ECCENTRIC GUTTER INLET
SGE VGC	PCC SGE VGC	PRECAST CONC. CURB SLOPED GRAN. EDGING VERT. GRAN. CURB LIMIT OF CURB TYPE SAWCUT BUILDING	—— CATV———	CATV——	CABLE TV CATCH BASIN CONCENTRIC CATCH BASIN ECCENTRIC DOUBLE CATCH BASIN CONCENTRIC DOUBLE CATCH BASIN ECCENTRIC GUTTER INLET
SGE VGC	SGE VGC	SLOPED GRAN. EDGING VERT. GRAN. CURB LIMIT OF CURB TYPE SAWCUT BUILDING			CATCH BASIN CONCENTRIC CATCH BASIN ECCENTRIC DOUBLE CATCH BASIN CONCENTRIC DOUBLE CATCH BASIN ECCENTRIC GUTTER INLET
VGC	VGC	VERT. GRAN. CURB LIMIT OF CURB TYPE SAWCUT BUILDING			CATCH BASIN ECCENTRIC DOUBLE CATCH BASIN CONCENTRIC DOUBLE CATCH BASIN ECCENTRIC GUTTER INLET
		LIMIT OF CURB TYPE SAWCUT BUILDING			DOUBLE CATCH BASIN CONCENTRIC DOUBLE CATCH BASIN ECCENTRIC GUTTER INLET
		SAWCUT BUILDING			DOUBLE CATCH BASIN ECCENTRIC GUTTER INLET
		BUILDING	===		GUTTER INLET
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	■ A =	DI III DINIC ENTRANICE			
] EN	BUILDING ENTRANCE	(1)		DRAIN MANHOLE ECCENTRIC
	LD	LOADING DOCK	=TD=		TRENCH DRAIN
	•	BOLLARD	Ľ	r	PLUG OR CAP
	D	DUMPSTER PAD	СО	co •	CLEANOUT
	•	SIGN	>	>	FLARED END SECTION
	=	DOUBLE SIGN		\checkmark	HEADWALL
	I I	STEEL GUARDRAIL			
		WOOD GUARDRAIL	<u>S</u>	•	SEWER MANHOLE CONCENTRIC
* * * * * *			<u>\$</u>	•	SEWER MANHOLE ECCENTRIC
× × × ×		PATH	CS	CS ●	CURB STOP & BOX
× × ×		TREE LINE	WV	₩V •	WATER VALVE & BOX
-oo	× ×	WIRE FENCE	TSV	TSV	TAPPING SLEEVE, VALVE & BOX
•	•——•	FENCE	4-5	•	SIAMESE CONNECTION
-D		STOCKADE FENCE	HYD	HYD ⊚	FIRE HYDRANT
000000	····	STONE WALL	WM	WM ⊡	WATER METER
		RETAINING WALL	PIV	PIV ●	POST INDICATOR VALVE
		STREAM / POND / WATER COURSE	(W	WATER WELL
		DETENTION BASIN	GG	GG O	GAS GATE
0 00 00 00 00 00 00 0	•••••	HAY BALES	GM	O GM ⊡	GAS METER
×	×	SILT FENCE	0		O.O.METER
	C::::::> ·	SILT SOCK / STRAW WATTLE	E	● ^{EMH}	ELECTRIC MANHOLE
			EM •	EM ⊡	ELECTRIC METER
4	4 ——	MINOR CONTOUR	ф	*	LIGHT POLE
— — 20— —	20	MAJOR CONTOUR		● ^{TMH}	TELEPHONE MANHOLE
(10)	10	PARKING COUNT	T	T	TRANSFORMER PAD
	©10	COMPACT PARKING STALLS			TRAINSFORIVIER PAD
DYL	DYL		-0-	•	UTILITY POLE
SL SL		DOUBLE YELLOW LINE	0-	•-	GUY POLE
	SL	STOP LINE		Ϊ	GUY WIRE & ANCHOR
	SL	CROSSWALK	HH	HH ⊡	HAND HOLE
	SL		PB ⊡	PB ⊡	PULL BOX
Ĕ,		ACCESSIBLE CURB RAMP			
Ł VAN		ACCESSIBLE CURB RAMP ACCESSIBLE PARKING			

Abbroviations

Genera	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EX	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
	TITICAL
Utility	
СВ	CATCH BASIN
CMP	CORRUGATED METAL PIPE
СМР	CORRUGATED METAL PIPE CLEANOUT
СО	CLEANOUT
CO DCB	CLEANOUT DOUBLE CATCH BASIN
CO DCB DMH	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE
CO DCB DMH CIP	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE
CO DCB DMH CIP COND	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE CONDUIT
CO DCB DMH CIP COND DIP	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE CONDUIT DUCTILE IRON PIPE
CO DCB DMH CIP COND DIP FES FM	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE CONDUIT DUCTILE IRON PIPE FLARED END SECTION
CO DCB DMH CIP COND DIP FES FM	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE CONDUIT DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN
CO DCB DMH CIP COND DIP FES FM F&G	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE CONDUIT DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE
CO DCB DMH CIP COND DIP FES FM F&G F&C GI	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE CONDUIT DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE FRAME AND COVER
CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE CONDUIT DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE FRAME AND COVER GUTTER INLET
CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE CONDUIT DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE FRAME AND COVER GUTTER INLET GREASE TRAP
CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE CONDUIT DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE FRAME AND COVER GUTTER INLET GREASE TRAP HIGH DENSITY POLYETHYLENE PIPE
CO DCB DMH CIP COND DIP FES FM F&G GU GT HDPE HH HW	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE CONDUIT DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE FRAME AND COVER GUTTER INLET GREASE TRAP HIGH DENSITY POLYETHYLENE PIPE HANDHOLE
CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE CONDUIT DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE FRAME AND COVER GUTTER INLET GREASE TRAP HIGH DENSITY POLYETHYLENE PIPE HANDHOLE HEADWALL
CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE CONDUIT DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE FRAME AND COVER GUTTER INLET GREASE TRAP HIGH DENSITY POLYETHYLENE PIPE HANDHOLE HEADWALL HYDRANT
CO DCB DMH CIP COND DIP FES FM F&G GT HDPE HH HW HYD	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE CONDUIT DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE FRAME AND COVER GUTTER INLET GREASE TRAP HIGH DENSITY POLYETHYLENE PIPE HANDHOLE HEADWALL HYDRANT INVERT ELEVATION
CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD INV I=	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE CONDUIT DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE FRAME AND COVER GUTTER INLET GREASE TRAP HIGH DENSITY POLYETHYLENE PIPE HANDHOLE HEADWALL HYDRANT INVERT ELEVATION LIGHT POLE
CO DCB DMH CIP COND DIP FES FM F&G GT HDPE HH HW HYD INV I= LP	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE CONDUIT DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE FRAME AND COVER GUTTER INLET GREASE TRAP HIGH DENSITY POLYETHYLENE PIPE HANDHOLE HEADWALL HYDRANT INVERT ELEVATION LIGHT POLE
CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD INV I= LP MES PIV	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE CONDUIT DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE FRAME AND COVER GUTTER INLET GREASE TRAP HIGH DENSITY POLYETHYLENE PIPE HANDHOLE HEADWALL HYDRANT INVERT ELEVATION LIGHT POLE METAL END SECTION
CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD INV I= LP MES PIV	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE CONDUIT DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE FRAME AND COVER GUTTER INLET GREASE TRAP HIGH DENSITY POLYETHYLENE PIPE HANDHOLE HEADWALL HYDRANT INVERT ELEVATION LIGHT POLE METAL END SECTION POST INDICATOR VALVE
CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD INV I= LP MES PIV PWW	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE CONDUIT DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE FRAME AND COVER GUTTER INLET GREASE TRAP HIGH DENSITY POLYETHYLENE PIPE HANDHOLE HEADWALL HYDRANT INVERT ELEVATION LIGHT POLE METAL END SECTION POST INDICATOR VALVE PAVED WATER WAY
CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD INV I= LP MES PIV PWW PVC	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE CONDUIT DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE FRAME AND COVER GUTTER INLET GREASE TRAP HIGH DENSITY POLYETHYLENE PIPE HANDHOLE HEADWALL HYDRANT INVERT ELEVATION INVERT ELEVATION LIGHT POLE METAL END SECTION POST INDICATOR VALVE PAVED WATER WAY POLYVINYLCHLORIDE PIPE
CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD INV I= LP MES PIV PWW PVC RCP R=	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE CONDUIT DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE FRAME AND COVER GUTTER INLET GREASE TRAP HIGH DENSITY POLYETHYLENE PIPE HANDHOLE HEADWALL HYDRANT INVERT ELEVATION LIGHT POLE METAL END SECTION POST INDICATOR VALVE PAVED WATER WAY POLYVINYLCHLORIDE PIPE REINFORCED CONCRETE PIPE
CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD INV I= LP MES PIV PWW PVC RCP R=	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE CONDUIT DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE FRAME AND COVER GUTTER INLET GREASE TRAP HIGH DENSITY POLYETHYLENE PIPE HANDHOLE HEADWALL HYDRANT INVERT ELEVATION INVERT ELEVATION LIGHT POLE METAL END SECTION POST INDICATOR VALVE PAVED WATER WAY POLYVINYLCHLORIDE PIPE REINFORCED CONCRETE PIPE RIM ELEVATION
CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD INV I= LP MES PIV PWW PVC RCP R= RIM=	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE CONDUIT DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE FRAME AND COVER GUTTER INLET GREASE TRAP HIGH DENSITY POLYETHYLENE PIPE HANDHOLE HEADWALL HYDRANT INVERT ELEVATION LIGHT POLE METAL END SECTION POST INDICATOR VALVE PAVED WATER WAY POLYVINYLCHLORIDE PIPE RIM ELEVATION RIM ELEVATION RIM ELEVATION RIM ELEVATION
CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD INV I= LP MES PIV PWW PVC RCP R= RIM= SMH	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE CONDUIT DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE FRAME AND COVER GUTTER INLET GREASE TRAP HIGH DENSITY POLYETHYLENE PIPE HANDHOLE HEADWALL HYDRANT INVERT ELEVATION LIGHT POLE METAL END SECTION POST INDICATOR VALVE PAVED WATER WAY POLYVINYLCHLORIDE PIPE RIM ELEVATION RIM ELEVATION RIM ELEVATION RIM ELEVATION RIM ELEVATION
CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD INV I= LP MES PIV PWW PVC RCP R= RIM= SMH TSV	CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE CONDUIT DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE FRAME AND COVER GUTTER INLET GREASE TRAP HIGH DENSITY POLYETHYLENE PIPE HANDHOLE HEADWALL HYDRANT INVERT ELEVATION LIGHT POLE METAL END SECTION POST INDICATOR VALVE PAVED WATER WAY POLYVINYLCHLORIDE PIPE REINFORCED CONCRETE PIPE RIM ELEVATION RIM ELEVATION SEWER MANHOLE TAPPING SLEEVE, VALVE AND BOX

General

- 1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- 3. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND
- 4. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE SIX INCHES LOAM AND SEED.
- 5. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM

LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).

EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.

- WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE
- HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES. 7. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT

DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT

- 8. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S
- 10. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
- 11. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
- 12. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO
- 13. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
- 14. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.

- 1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
- 3. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
- 4. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
- A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
- B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
- C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
- 5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
- CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY
- 7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
 - A. WATER PIPES SHALL BE CEMENT LINED DUCTILE IRON PIPE PRESSURE CLASS 350.
 - B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE.
 - C. STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HDPE).
- D. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO
- 8. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
- 9. CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
- 10. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

Layout and Materials

ON THE PLANS.

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- 2. CURB RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
- 3. CURBING SHALL BE PRECAST CONCRETE CURB (PCC) WITHIN THE SITE UNLESS OTHERWISE INDICATED
- 4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- 5. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.
- 6. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

- CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
- 2. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- 3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
- 4 THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE
- 5. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

Erosion Control

- 1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
- 2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
- 3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
- 4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- 5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Existing Conditions Information

- BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY Heritage Surveys, Inc. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY Heritage Surveys, Inc., DURING September and October 2020.
- A. DELINEATION OF THE WETLANDS AND PLACEMENT OF THE FLAGS WAS PERFORMED BY: VHB.
- B. FLAGS MARKING THE WETLANDS WERE LOCATED BY: VHB VIA TRIMBLE GPS UNIT WITH
- 2. TOPOGRAPHY: ELEVATIONS ARE BASED ON THE 1988 NAVD SYSTEM.

Document Use

- 1. THESE PLANS AND CORRESPONDING CAD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
- 2. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- 3. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT



Suite 500 Worcester, MA 01608 508.752.1001

LUDLOW	PLANNING	BOARD
DATE:		

APPROVED BY TH

Mill #8 Adaptive Reuse

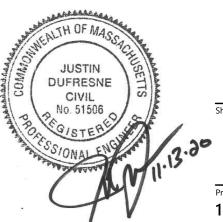
100 State Street Ludlow, Massachusetts

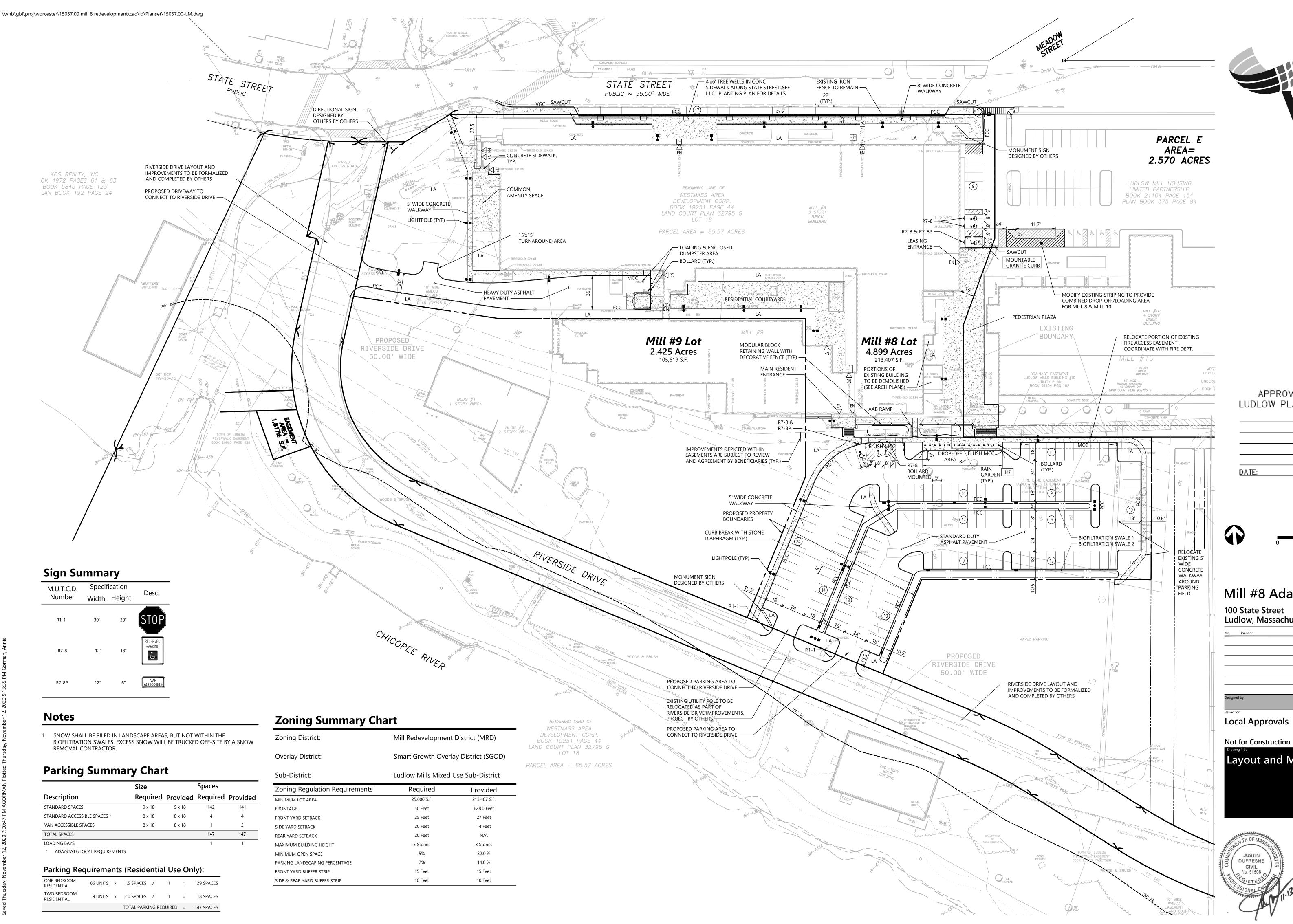
No.	Revision	Date	Appvd.
IVO.	REVISION	Date	Арруи.

Designed by	Checked by
Issued for	Date
Local Approvals	November 13, 20

Not for Construction

Legend, Abbreviations and General Notes





120 Front Street Suite 500 Worcester, MA 01608 508.752.1001

APPROVED BY THE LUDLOW PLANNING BOARD

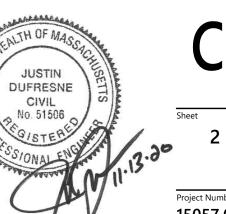
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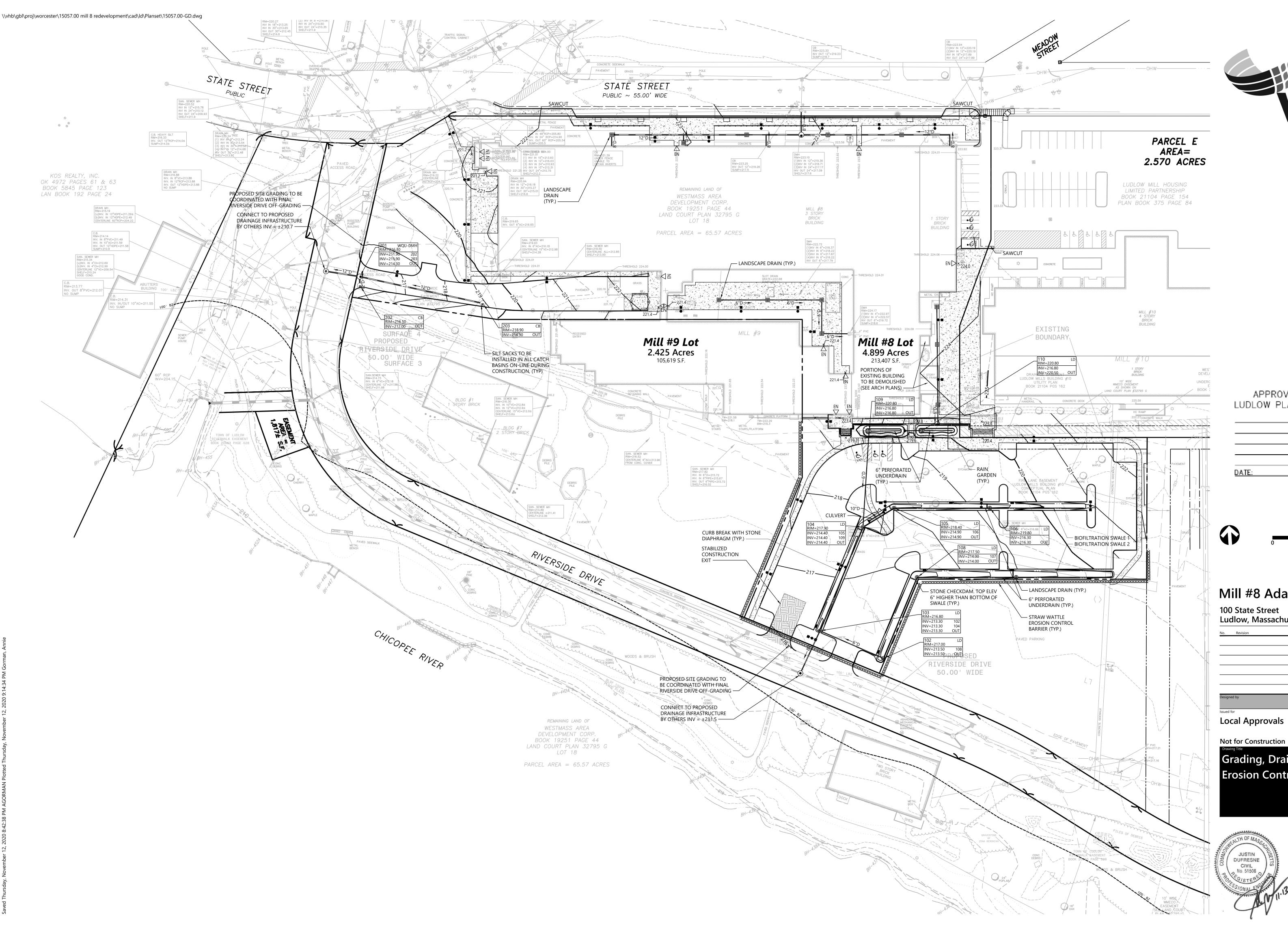
100 State Street Ludlow, Massachusetts

November 13, 2020 **Local Approvals**

Layout and Materials Plan









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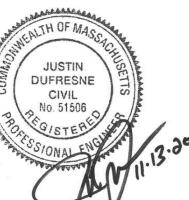
Mill #8 Adaptive Reuse

100 State Street Ludlow, Massachusetts

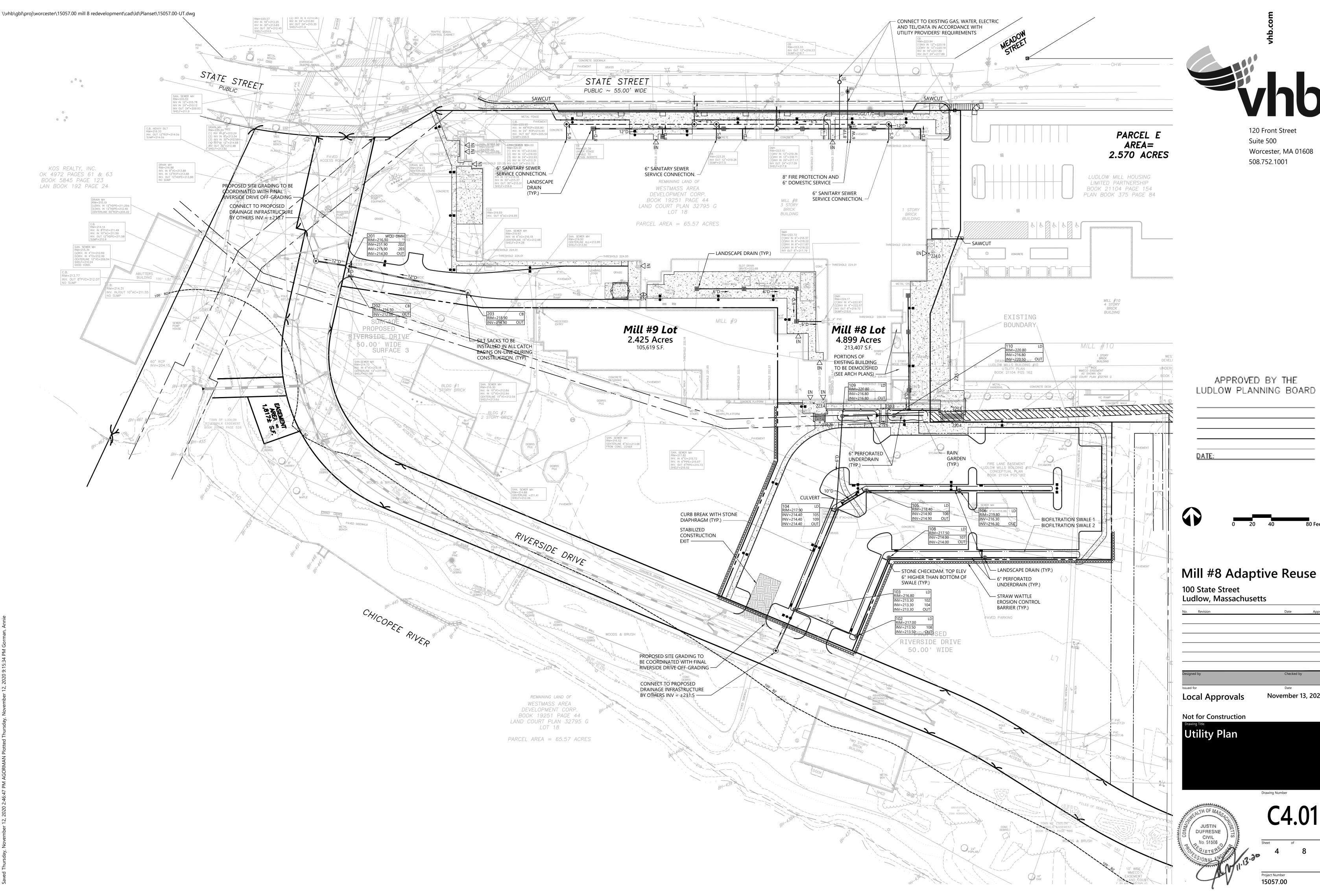
November 13, 2020 **Local Approvals**

Grading, Drainage and

Erosion Control Plan



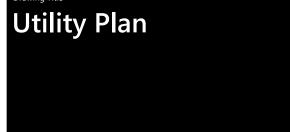
Project Number 15057.00

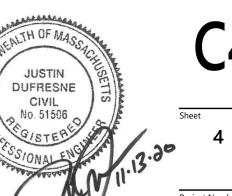


120 Front Street Suite 500 Worcester, MA 01608

APPROVED BY THE LUDLOW PLANNING BOARD

November 13, 2020





Project Number **15057.00**

Accessible Parking Space

- 1. ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING.
- 2. 8' STALL WIDTH REFERS TO 8' CLEAR BETWEEN INSIDE EDGES OF
- 3. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE
- AREAS SHALL NOT EXCEED 1.5%. 4. ACCESS AISLE MEASURED BETWEEN OUTSIDE EDGES OF PAVEMENT

Crosswalk

N.T.S.

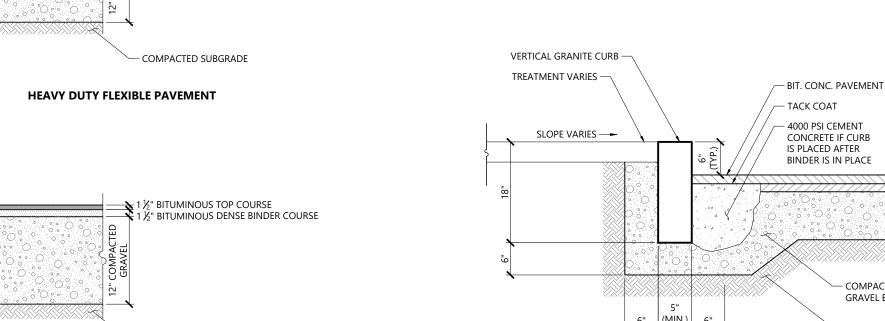
LD_552B

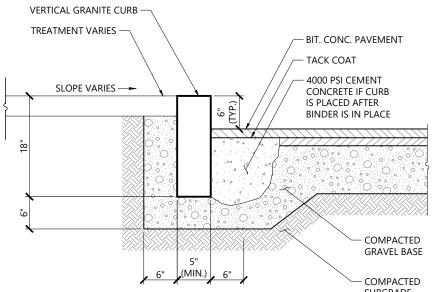
- 1. TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO - 6 INCH LINES) WILL BE ACCEPTED.
- 2. LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURBLINE. 3. ALL LONGITUDINAL CROSSWALK LINES TO BE THE SAME LENGTH

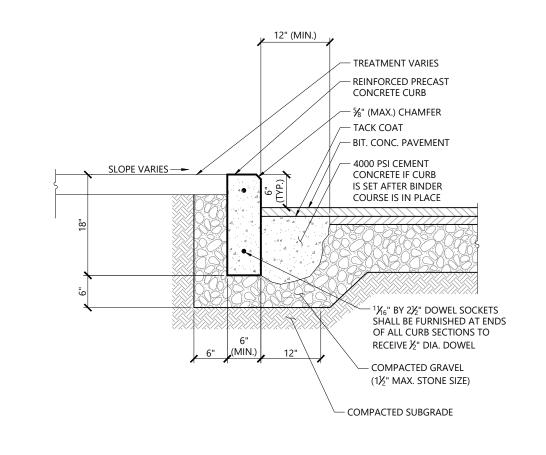
Source: VHB

4. CROSS WALK SIDESLOPE SHALL NOT EXCEED 1.5%.

AND PROPERLY ALIGNED.









LD_553

9/17

LD_764B



PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE

RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.

STANDARD DUTY FLEXIBLE PAVEMENT

■ 1 ½" BITUMINOUS TOP COURSE

— COMPACTED SUBGRADE



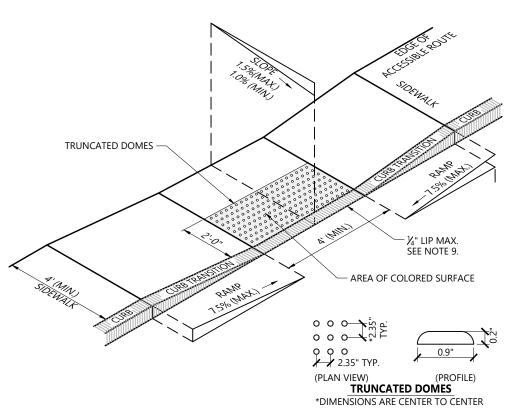


— 4" CEMENT CONCRETE



APPROVED BY THE

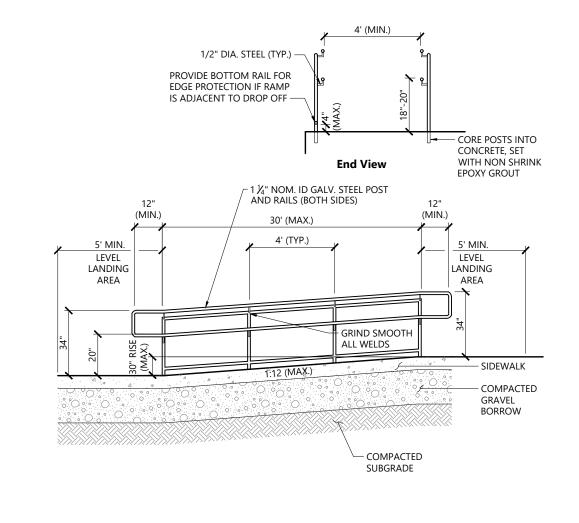
LUDLOW PLANNING BOARD



- 1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
- 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%. 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
- A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
- 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
- 6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
- 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION. 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
- ELIMINATE CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.
- 10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.

Accessible Curb Ramp (ACR) Type 'A-D'

11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO ACCESSIBLE ROUTE.

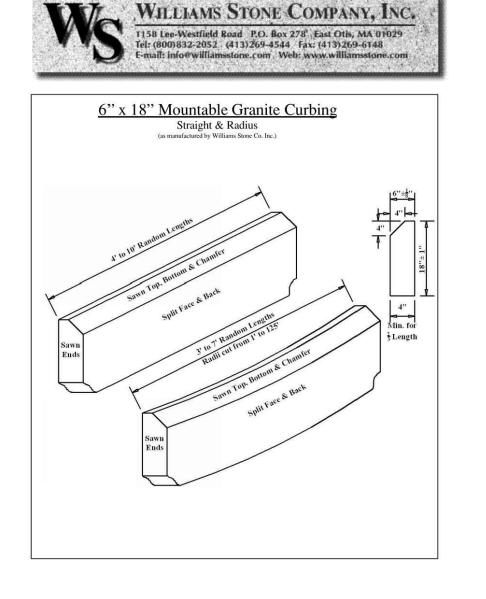


AAB Ramp

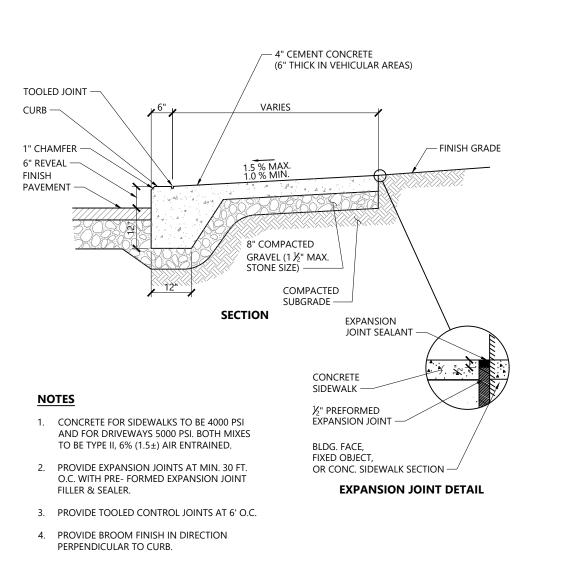
N.T.S.

LD_500

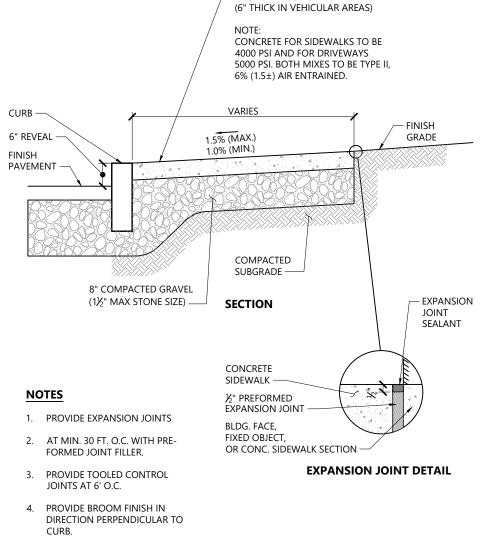
- 1. FOR ADDITIONAL INFORMATION SEE 521 CMR 24.00 RAMPS.
- 2. REFER TO SIDEWALK DETAIL FOR SIDEWALK CONSTRUCTION.









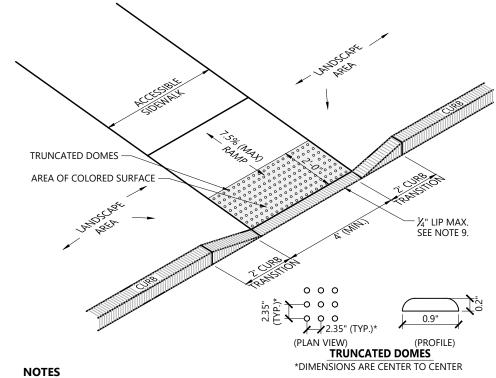


Concrete Sidewalk Source: VHB

1.5% (MAX.) -1.0% (MIN.) TRUNCATED DOMES — AREA OF COLORED SURFACE -7/41/(MI) 000 2.35" (TYP.)* 0 0 0 (PLAN VIFW) TRUNCATED DOMES

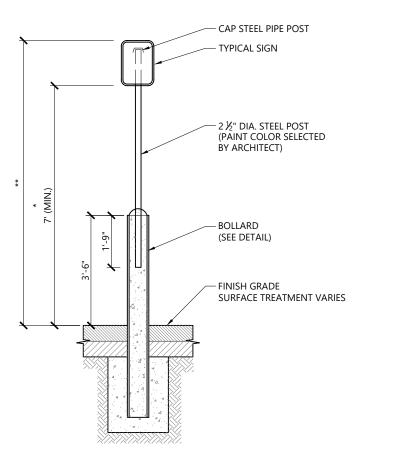
- *DIMENSIONS ARE CENTER TO CENTER 1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
- 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%. 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
- 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
- 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
- 6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
- 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION. 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
- 9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.
- 10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES. 11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.
- 12. CONTRACTOR TO SUBMIT R.F.I. FOR THIS TYPE OF ACCESSIBLE CURB RAMP FOR APEX ROADWAY CROSSINGS.

Accessible Curb	1/	
N.T.S.	Source: VHB	LD_50



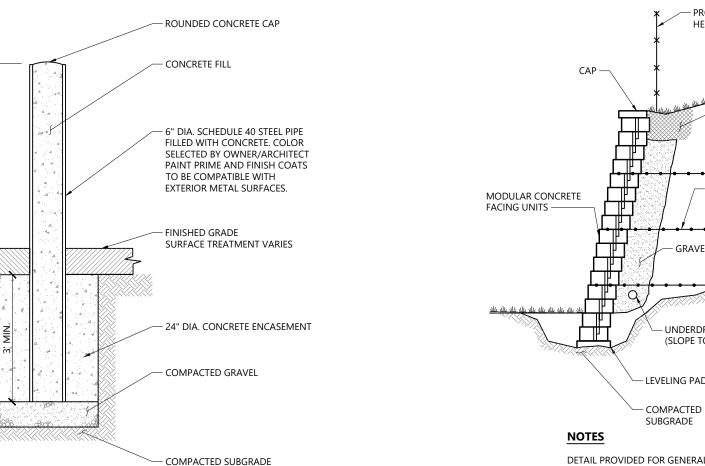
- 1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
- 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
- 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE
- 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.). 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
- 6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING. 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
- 9. ELIMINATE CURBING (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAYS.
- 10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES. 11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROLLTE

Accessible Curb	Ramp (ACR) Type 'M-D'	1/16
N.T.S.	Source: VHB	LD_512



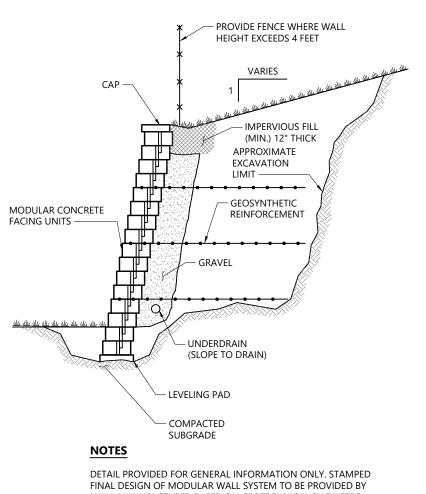
- * THIS DIMENSION SHALL BE A MINIMUM OF 5' FOR ACCESSIBLE
- * * THIS DIMENSION SHALL BE A A MAXIMUM OF 8' FOR ACCESSIBLE SIGNAGE.

Bollard Mounted Sign		1/16	Bollard	
N.T.S.	Source: VHB	LD_703	N.T.S.	Source: VHB



N.T.S.

Bollard		9/17
N.T.S.	Source: VHB	LD_700



WALL MANUFACTURER BASED ON GEOTECHNICAL ENGINEERS RECOMMENDATIONS.

Source: VHB

Modular Retaining Wall



100 State Street **Ludlow, Massachusetts**

Designed by	Checked by
Issued for	Date
_	

November 13, 2020 Local Approvals

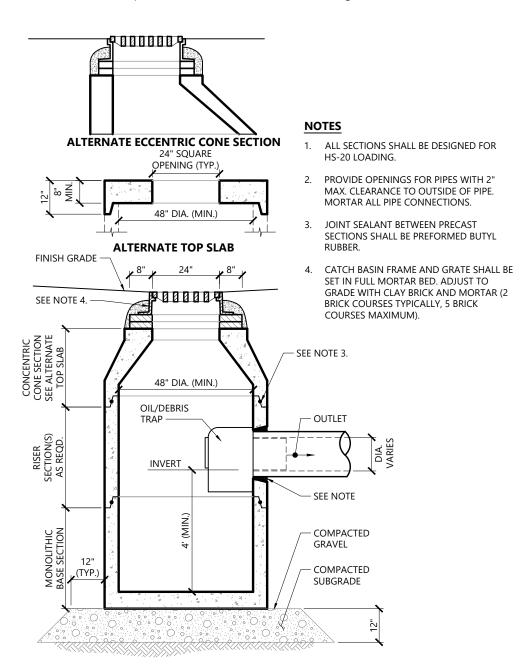
Not for Construction

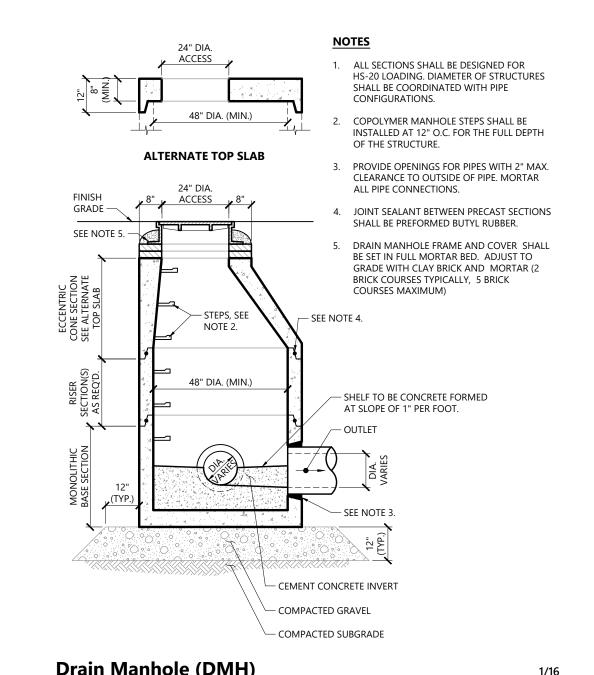




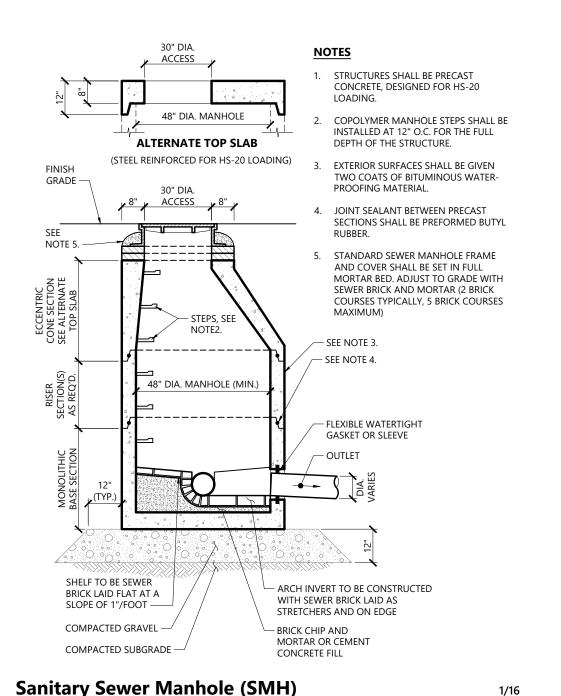
1/16

LD_750

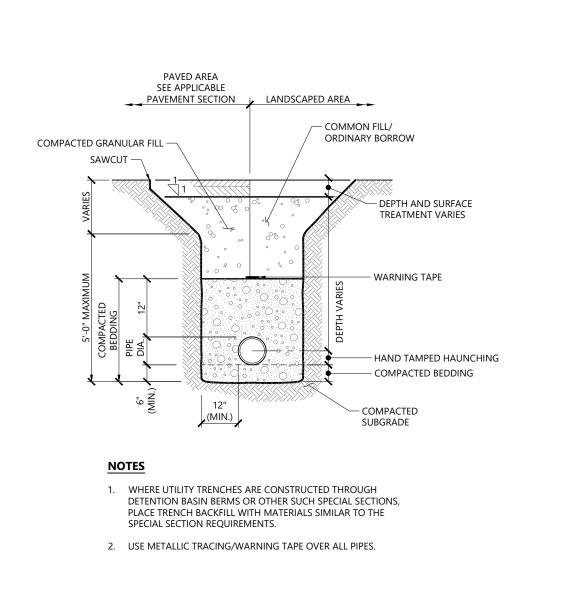




Source: VHB



CDS1515-3-C DESIGN NOTES



Source: VHB

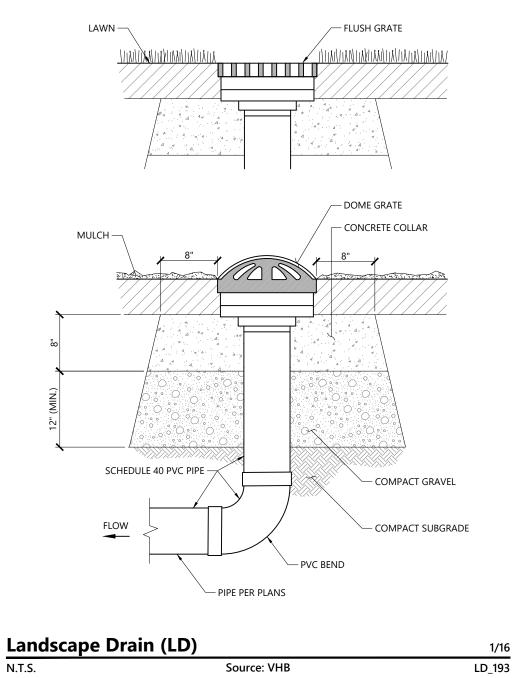
Utility Trench

— LOAM & SEED

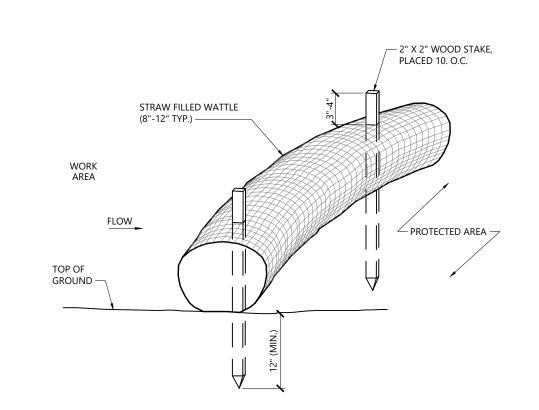
1. SURFACE SIDE SLOPES SHALL BE 3:1 MAX. 2% MIN.

Rain Garden

LD_200







1/16

N.T.S.

LD_101

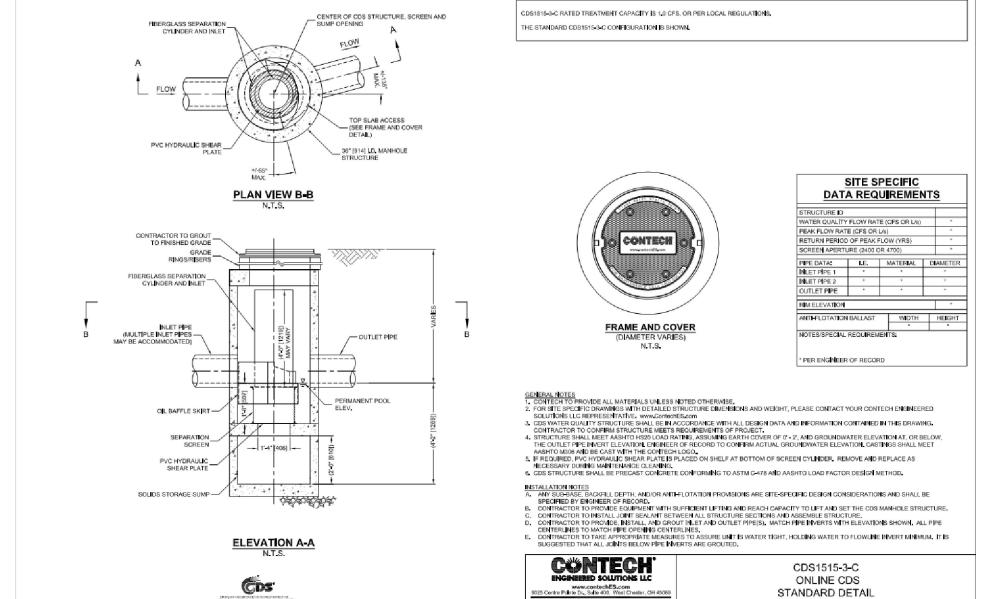
Catch Basin (CB) With Oil/Debris Trap



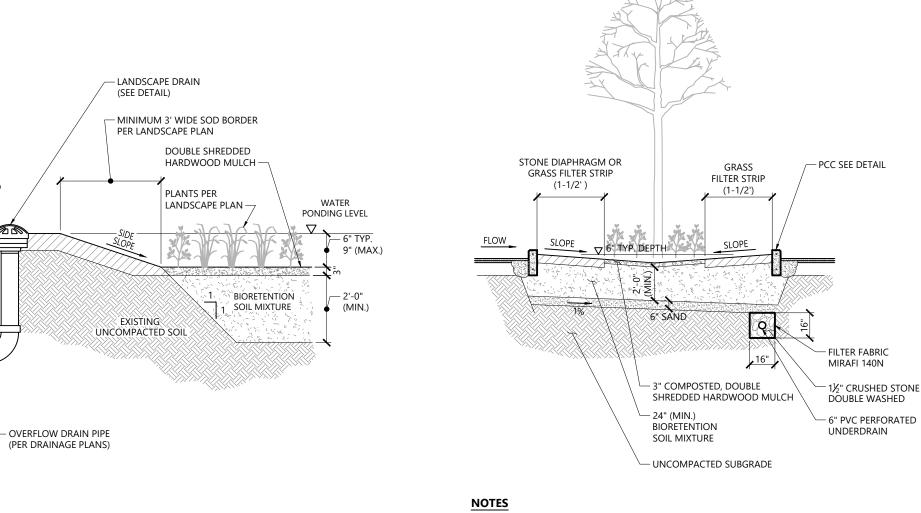
- 1. STRAW WATTLE SHALL BE AS MANUFACTURED BY EARTHSAVER OR APPROVED EQUAL.
- 2. STRAW WATTLES SHALL OVERLAP A MINIMUM OF 12 INCHES. 3. STRAW WATTLE SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM
- EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY 4. TEMPORARY STRAW WATTLES TO BE REMOVED BY CONTRACTOR. ALL
- OTHERS TO REMAIN IN PLACE UNLESS DIRECTED OTHERWISE BY ENGINEER. 5. IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE

COLLECTED AND DISPOSED OF OFFSITE.





LD_115



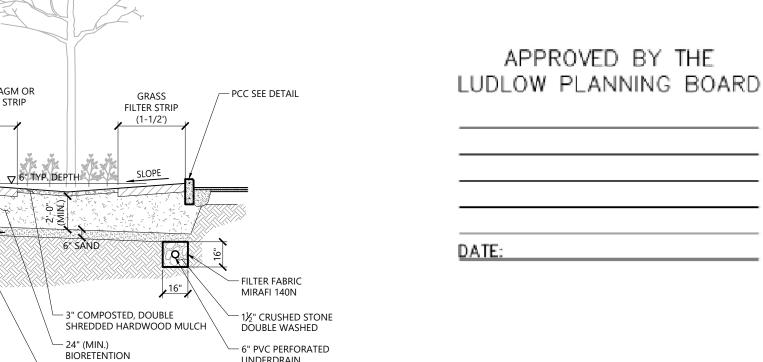
1. PLANTED SWALE WIDTH AND PLANTINGS PER

Planted Biofiltration Island with Underdrain

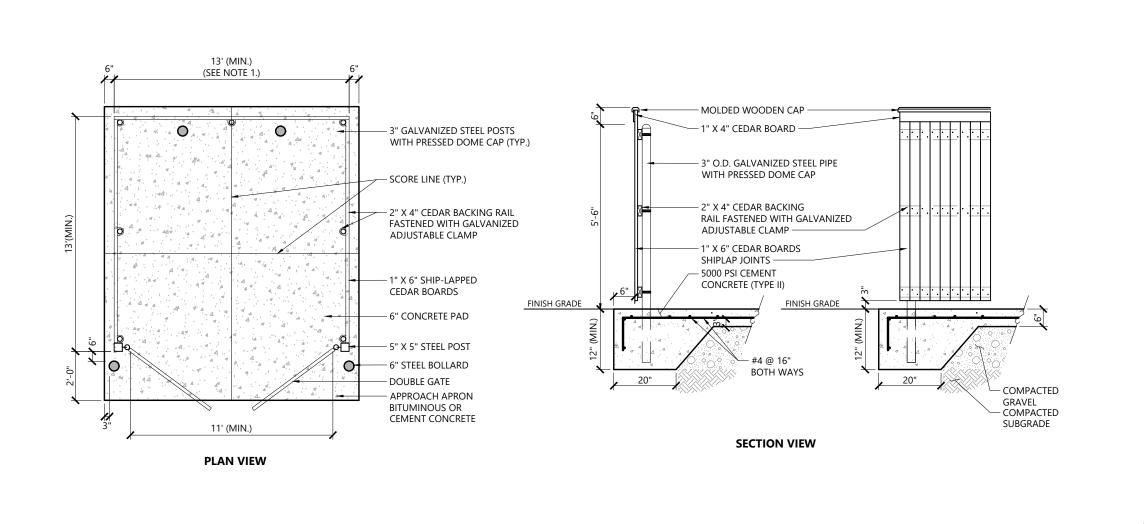
2. SIDE SLOPES SHALL BE 3:1 MAX. 2% MIN.

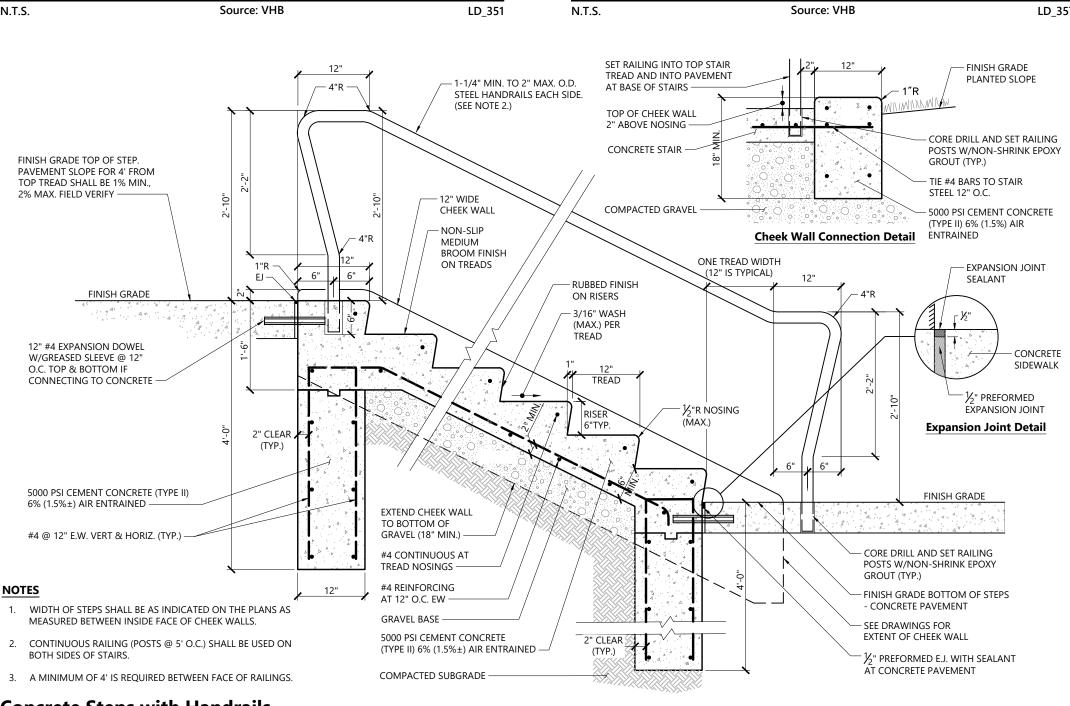
LANDSCAPE PLAN.

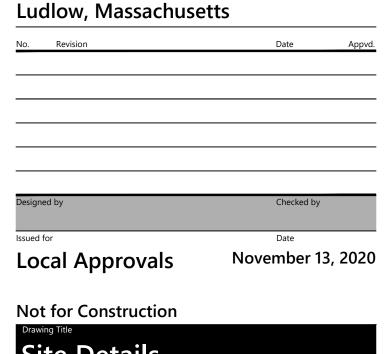
LD_300





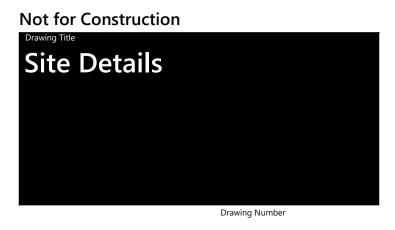


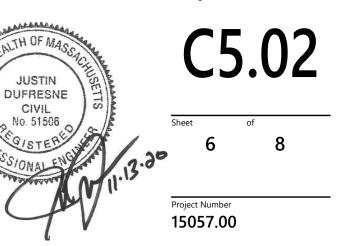


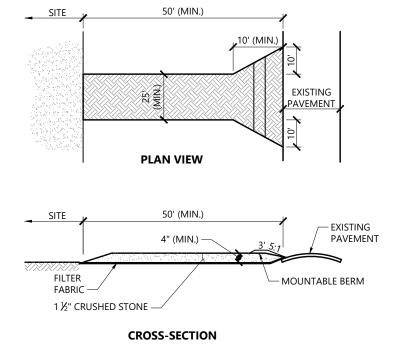


Mill #8 Adaptive Reuse

100 State Street







NOTES

PROVIDED AS NEEDED.

1. EXIT WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.

- 2. THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE
- 3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL

Stabilized Construction Exit 1/16 LD_682

N.T.S.

Dumpster Pad w/ Enclosure LD_713 Source: VHB

1. DUMPSTER PAD DIMENSIONS SHOWN AS MINIMUM. REFER

TO PLAN FOR ACTUAL DIMENSION.

1/16

Concrete Steps with Handrails Source: VHB

LD_765_MA

Planting Notes

- 1. ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
- 3. NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
- 4. A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- 5. ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- 6. FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN, THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
- 7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- 8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
- 9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- 10. AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
- 11. ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEEDED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- 12. THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

Plant Maintenance Notes

- 1. CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
- 2. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
- 3. WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
- 4. WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
- 5. CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.

PLANT SCHEDULE

FLANT SCHLDOLL					
DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
ARB	8	Acer rubrum `Bowhall`	Bowhall Red Maple	2 1/2 - 3" CA	
ARK	23	Acer rubrum `Karpick`	Karpick Red Maple	2 1/2 - 3" CA	
ARO	11	Acer rubrum 'October Glory'	October Glory Maple	2 1/2 - 3" CA	
СВ	15	Carpinus betulus `Fastigiata`	Pyramidal European Hornbean	2 1/2 - 3" CA	
NS	2	Nyssa sylvatica	Black Tupelo	2 1/2 - 3" CA	
QP	2	Quercus palustris	Pin Oak	2 1/2 - 3" CA	
TC2	4	Tilia cordata `Greenspire`	Greenspire Littleleaf Linden	2 1/2 - 3" CA	
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
AC	5	Abies concolor	White Fir	6 - 7` HT.	
PA	9	Picea abies	Norway Spruce	6 - 7` HT.	
FLOWERING TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
AC2	7	Amelanchier canadensis	Shadblow Serviceberry - multi-stem	8 - 10` HT.	
CK	4	Cornus kousa	Kousa Dogwood	10 - 12` HT.	

II ONE

SHRUBS, AND ORNAMENTAL GRASSES SHALL BE A SELECTION OF:

SHRUBS Azalea x Renee Michelle **COMMON NAME** Renee Michelle Azalea Azalea viscosum Swamp Azalea Clethra alnifolia 'Hummingbird' **'Hummingbird' Summersweet** Cornus stolonifera `Elegantissima` Variegated Redtwig Dogwood Ilex crenata 'Steeds' Steeds Japanese Holly Ilex glabra `Shamrock` Shamrock Inkberry Ilex verticillata 'Red Sprite' **Red Sprite Winterberry** Itea virginica 'Little Henry' TM Kalmia latifolia Virginia Sweetspire **Mountain Laurel** Leucothoe fontanesiana **Drooping Leucothoe** Myrica pensylvanica Northern Bayberry, Candleberry Rhododendron x 'PJM Compact Form' PJM Compact Rhododendron Rhus aromatica 'Gro-Low' **Gro-Low Fragrant Sumac** Spiraea japonica `Little Princess` Little Princess Japanese Spirea Viburnum dentatum 'Arrowwood' Arrowwood Viburnum Viburnum plicatum tomentosum 'Summer Snowflake' Summer Snowflake Japanese Snowball **ORNAMENTAL GRASSES COMMON NAME** Karl Foerster Feather Reed Grass Calamgrostis x acutiflora 'Karl Foerster' Miscanthus sinensis Maiden hair Grass Panicum virgatum 'Heavy Metal' **Heavy Metal Switchgrass** Panicum virgatum 'Shenendoah' **Shenendoah Switchgrass** Pennisetum alopecuroides 'Hameln' **Hameln Fountain Grass** Little Bluestem Grass Schizachyrium scoparium

BIORETENTION SWALES AND RAINGARDEN SHRUBS, AND ORNAMENTAL GRASSES SHALL BE A SELECTION OF:

BIORETENTION BASIN Andropogon virginicus Carex stricta **Eupatorium purpureum 'Little Joe'** Iris versicolor Panicum virgatum Rudbeckia fulgida 'Goldsturm' Schizachyrium scoparium **Little Bluestem Grass Showy Goldenrod** Solidago speciosa

Sporobolus heterolepsis

Veronia noveboracensis

COMMON NAME Broomsedge Tussock Sedge Dwarf Joe-Pye Weed Blue Flag Switch Grass Goldsturm Black-eyed Susan

New York Ironweed

Prarie Dropseed

1. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT FENCE AT EDGE OF THE TREE DRIPLINE PRIOR TO START OF CONSTRUCTION.

Tree Protection

EXISTING IRON FENCE-

AND SEED -

1 ARO

CURB BREAK WITH STONE DIAPHRAGM (TYP.)

PLANTING (TYP.) -

Mill #8

3 Story Brick Building

Mill #9 Lot

2.425 Acres 105,619 S.F.

- LOAM AND SEED

GARDEN

2 ARB

Mill #8 Lot 🎊

4.899 Acres

213,407 S.F.

STATE STREET

PUBLIC ~ 55.00' WIDE

2. CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.

DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.



PARCEL E

AREAS

2.570 ACRES

- PRESERVE EXISTING

LAWN AND TREES

LOAM

AND

SEED

- BIOFILTRATION SWALE 1 BIOFILTR/1 AROWALE 2 Suite 500 Worcester, MA 01608 508.752.1001

APPROVED BY THE LUDLOW PLANNING BOARD



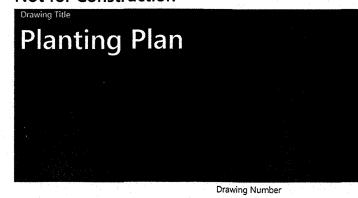


Mill #8 Adaptive Reuse

100 State Street **Ludlow, Massachusetts**

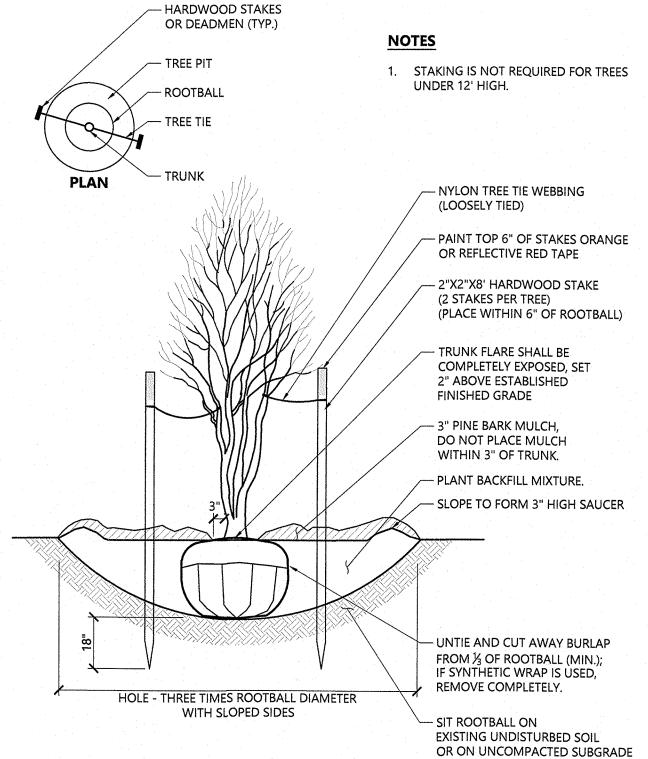
Local Approvals November 13, 2020

Not for Construction





15057.00



Source: VHB

Multistem Tree Planting

SLOPE TO FORM A 3" HIGH SAUCER. PLANT BACKFILL MIXTURE. UNTIE AND CUT AWAY BURLAP FROM 1/3 OF ROOTBALL (MIN.); IF SYNTHETIC WRAP IS USED, REMOVE COMPLETELY - SIT ROOTBALL ON EXISTING UNDISTURBED SOIL OR ON COMPACTED SUBGRADE HOLE - THREE TIMES ROOTBALL DIAMETER
WITH SLOPED SIDES

Evergreen Tree Planting

PLANT SPACING

PLANT SPACING("A") ROW SPACING ("B")

N.T.S.

1/16

LD_606

11/20

N.T.S.

- HARDWOOD STAKES

OR DEADMEN (TYP.)

NOTES

1. STAKING IS NOT REQUIRED FOR

2. PAINT TOP OF STAKES ORANGE OR REFLECTIVE RED TAPE.

- NYLON TREE TIE WEBBING

ABOVE THE ESTABLISHED

- TRUNK FLARE SHALL BE SET 2"

– 3" BARK MULCH, DO NOT PLACE MULCH WITHIN 3" OF TRUNK

- 2"X2" HARDWOOD STAKE OR DEADMEN (2 STAKES PER TREE)

1/16

LD_604

LD_618

N.T.S.

TIGHTEN AS SHOWN

(LOOSELY TIED)

FINISHED GRADE

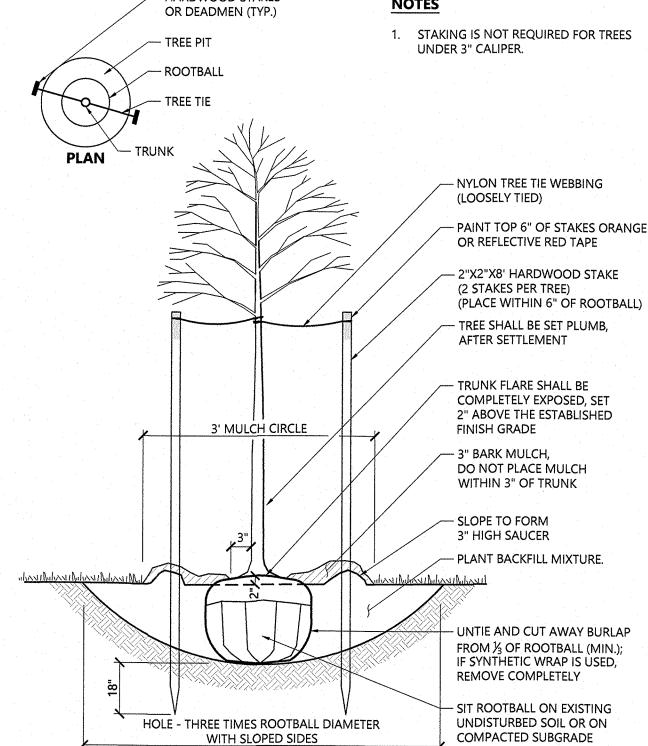
TREES UNDER 10' HIGH.

TREE PIT

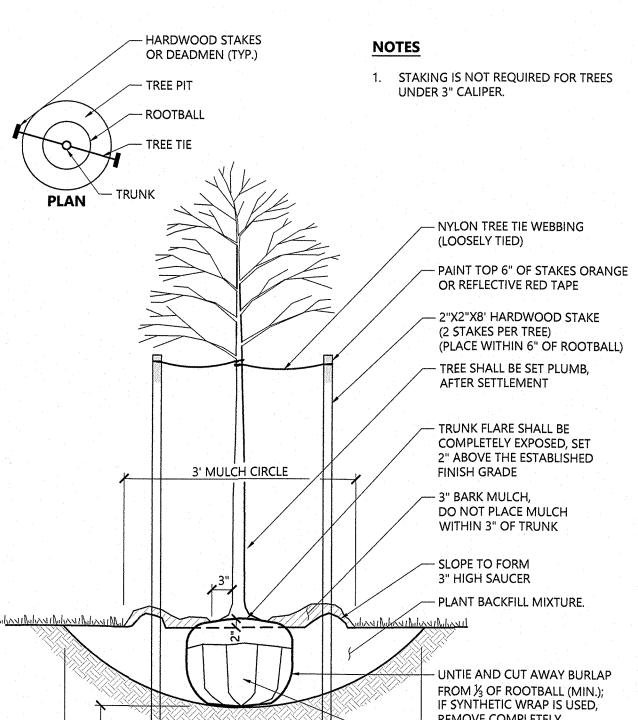
— ROOTBALL

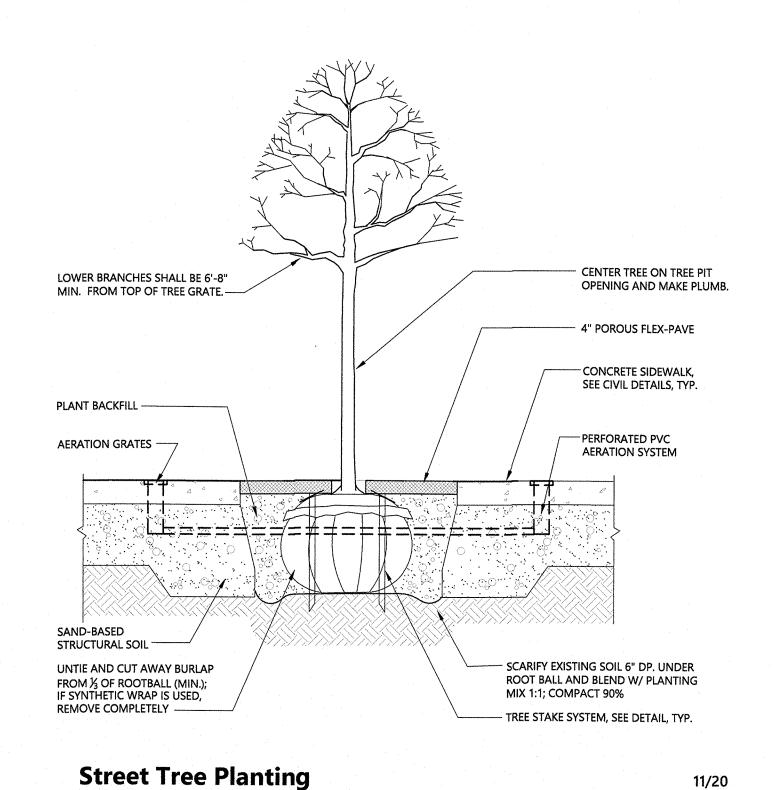
- TREE TIE

PLAN

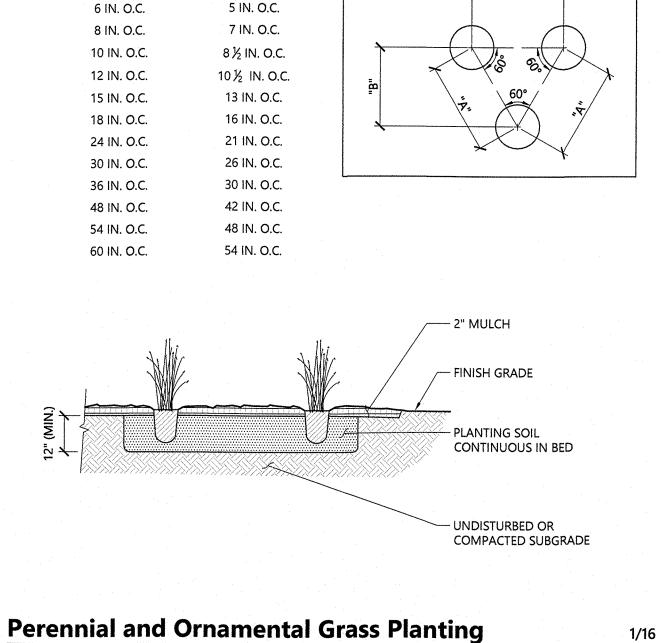


Tree Planting (For Trees Under 4" Caliper) 9/18 N.T.S. LD_602



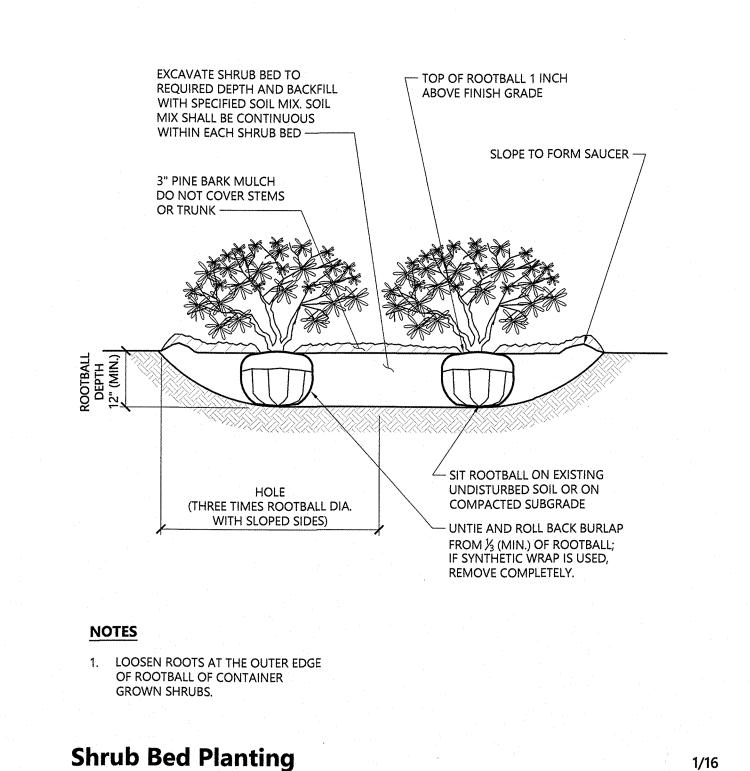


Source: VHB



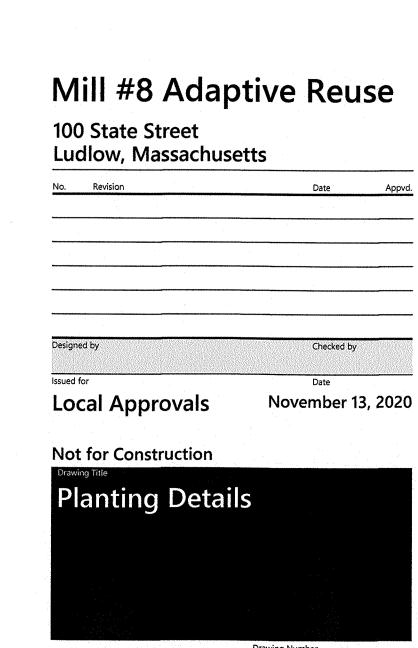
Source: VHB

Source: VHB



Source: VHB

LD_601



15057.00

120 Front Street

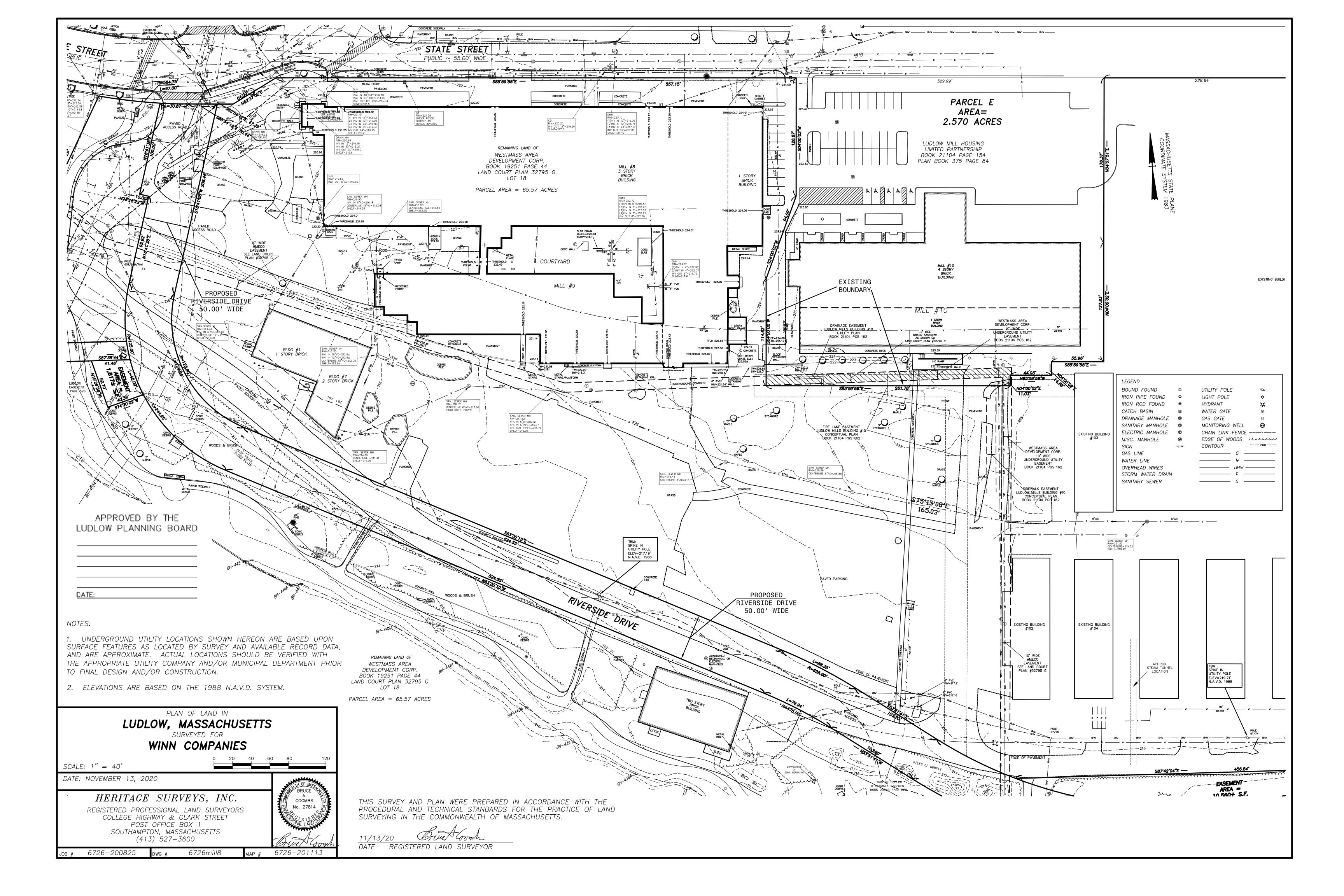
Worcester, MA 01608

Suite 500

APPROVED BY THE

LUDLOW PLANNING BOARD

508.752.1001





120 Front Street Suite 500 Worcester, MA 01608 508.752.1001

ENGINEERING ADVANTAGE, INC. 880 MAIN STREET 5TH FLOOR WALTHAM, MASSACHUSETTS 02451 PHONE: (617) 288-3969



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Mill #8 Adaptive Reuse

100 State Street Ludlow, Massachusetts

November 12, 2020 **Local Approvals**

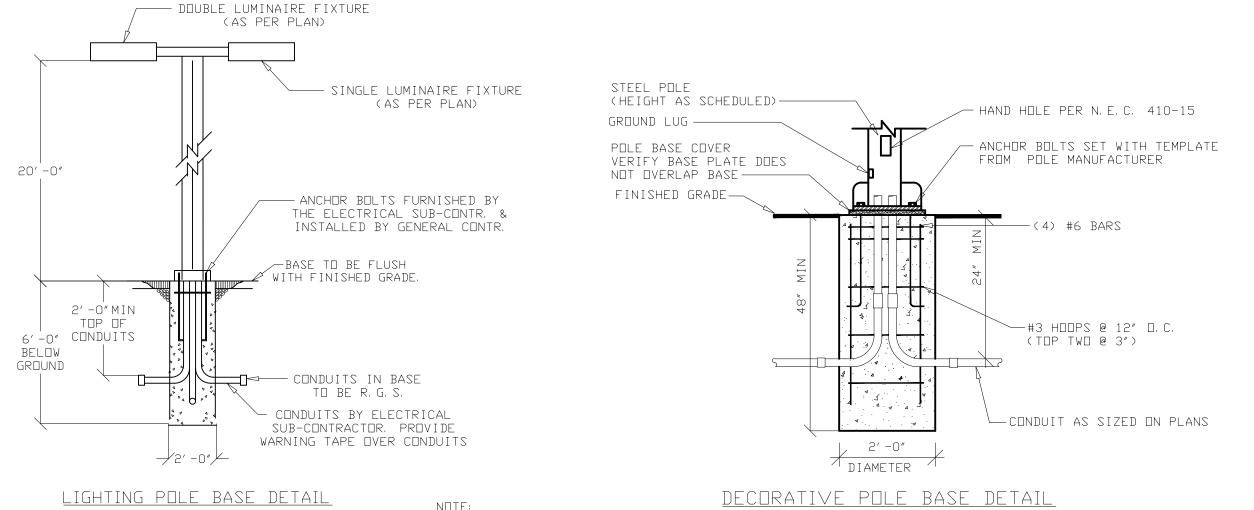
Not for Construction

Site Lighting Plan

Project Number 15057.00

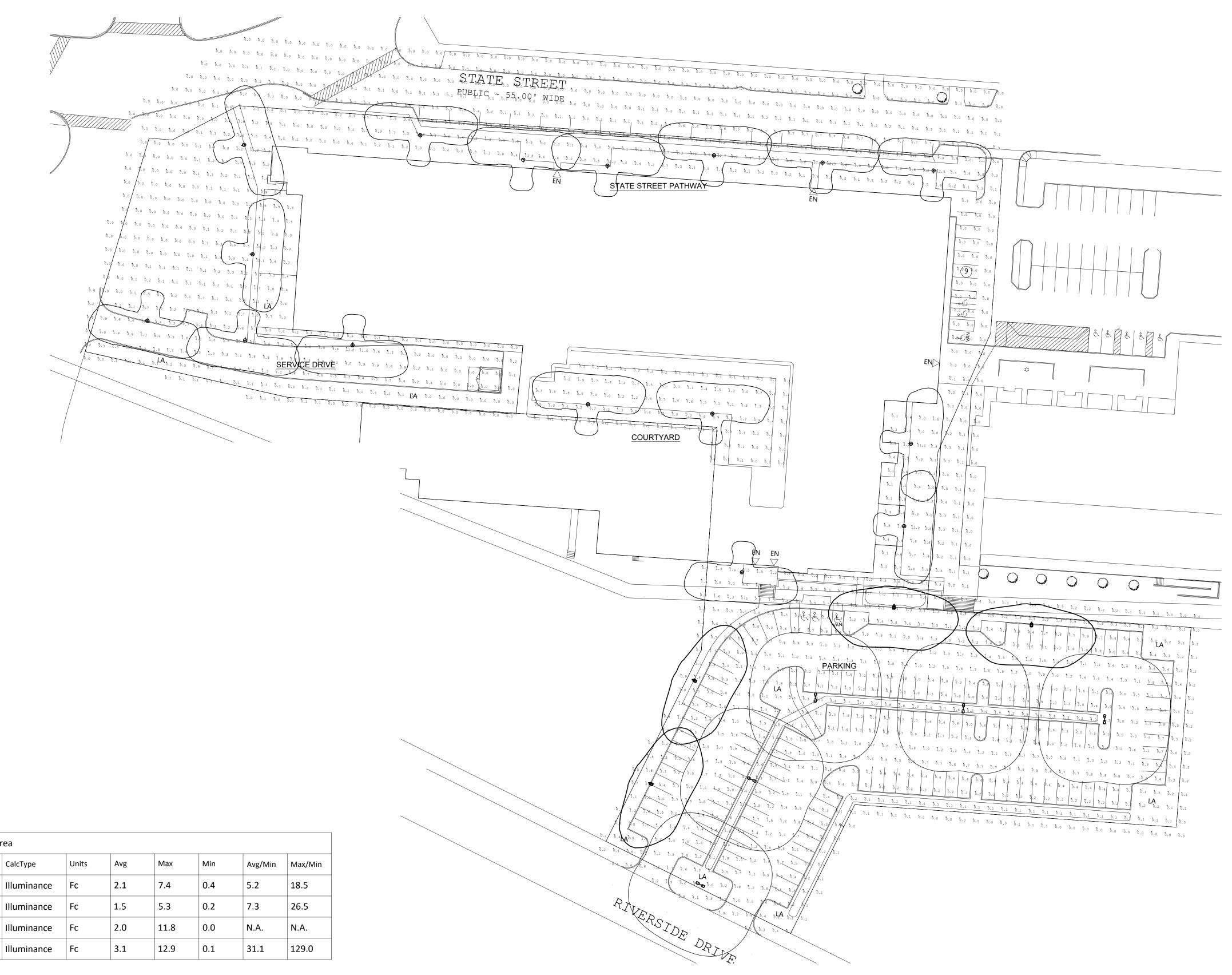
BRACKET			KING KA-15-T-1 ARM
NO. FIXTURES PER POLE	2	1	1
FIXTURE CAT. NUMBER	LEDTEK: AR13-48N-MV-NW-5 -XX-080	LE□TEK: AR13-48N-MV-NW-3 -XX-080	KING LUMINAIRE: K828-P4FL-III-60W-4K
FIXTURE DIST. TYPE	TYPE 5	TYPE 3	TYPE 3
POLE	WJM-SS400-1120-BLK- 2 @ 180°	WJM-SS400-1120-BLK- 1 @ 90°	KING-KM90-A-12- RE-BLACK

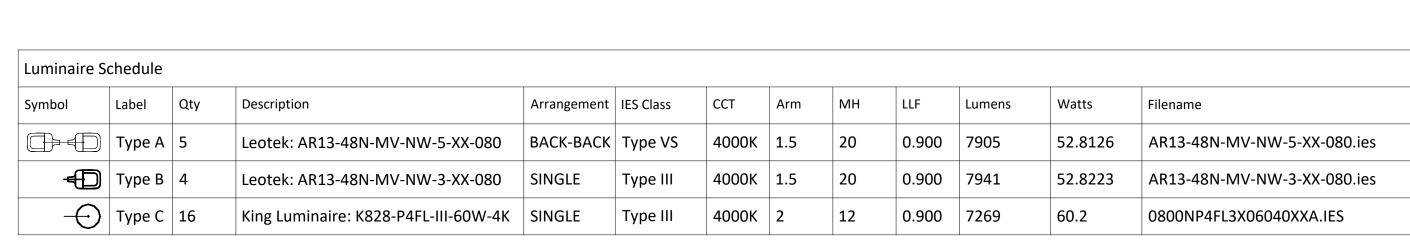
- NOTES: 1. COORDINATE POLE DRILLING TO MATCH FIXTURE MOUNTING.
- 2. PROVIDE ADAPTER AS REQUIRED FOR BRACKET TO FIXTURE CONNECTION.
- 3. PROVIDE FULL ANCHOR BOLT COVER ON ALL POLES.



NOTE: SIZE, DEPTH & REINFORCING STEEL IN BASE TO BE DETERMINED BY GEO, TECH, & STRUCTURAL ENGINEER

TYPE C NOT TO SCALE





Calculation Summary - Area

Courtyard

Service Drive

State Street Pathway

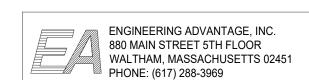
Parking



Suite 500

508.752.1001

Worcester, MA 01608





APPF	ROVED	ΒY	THE
LUDLOW	PLANN	IING	BOARI

ļ	DATE:			

Mill #8 Adaptive Reuse

100 State Street Ludlow, Massachusetts

No.	Revision	Date	Appvo

LAF	LAF
Issued for	Date
Local Approvals	November 12, 20

Not for Construction

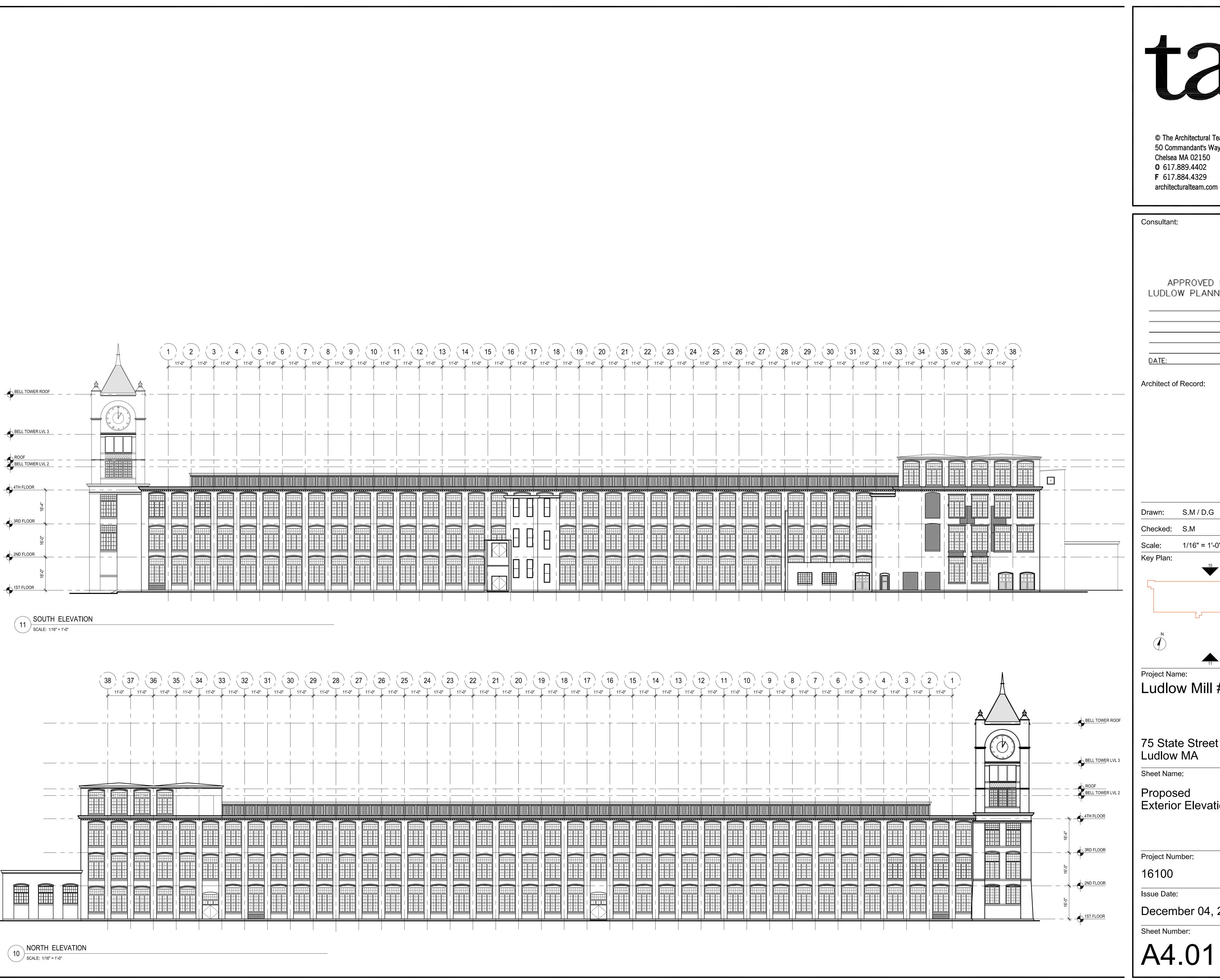
Photometric Plan



SE-2

eet of - -

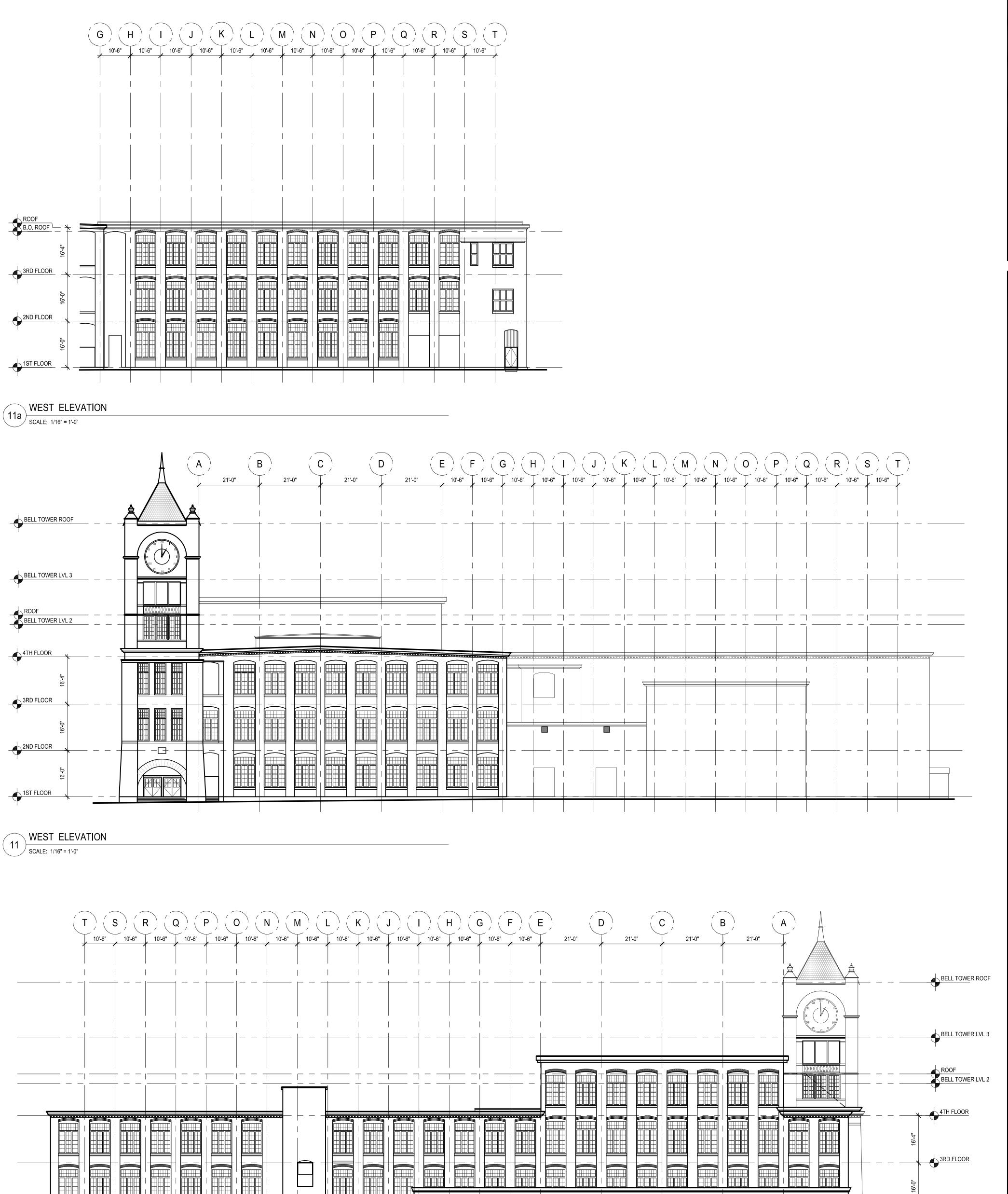
Project Number 15057.00



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C	onsultant:
	APPROVED BY THE
	LUDLOW PLANNING BOARD
	DATE:
	DATE.
Ar	chitect of Record:
Dı	rawn: S.M / D.G
CI	necked: S.M
So	cale: 1/16" = 1'-0"
Ke	ey Plan:
	N L
— Pr	oject Name:
	udlow Mill #08
	5 State Street
1	udlow MA
_	
	neet Name:
_ Sł	roposed

December 04, 2020



10 EAST ELEVATION

SCALE: 1/16" = 1'-0"

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50 Commandant's Way at Admiral's Hill
Chelsea MA 02150
0 617.889.4402
F 617.884.4329
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DATE:

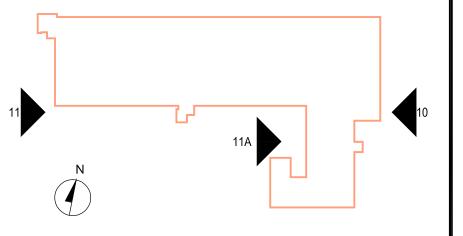
Consultant:

Architect of Record:

Drawn: S.M / D.G
Checked: S.M

Scale: 1/16" = 1'-0"

Key Plan:



Project Name:

Ludlow Mill #08

75 State Street Ludlow MA

Sheet Name:

Proposed Exterior Elevations

Project Number:

16100

Issue Date:

December 04, 2020

Sheet Number:

44.02