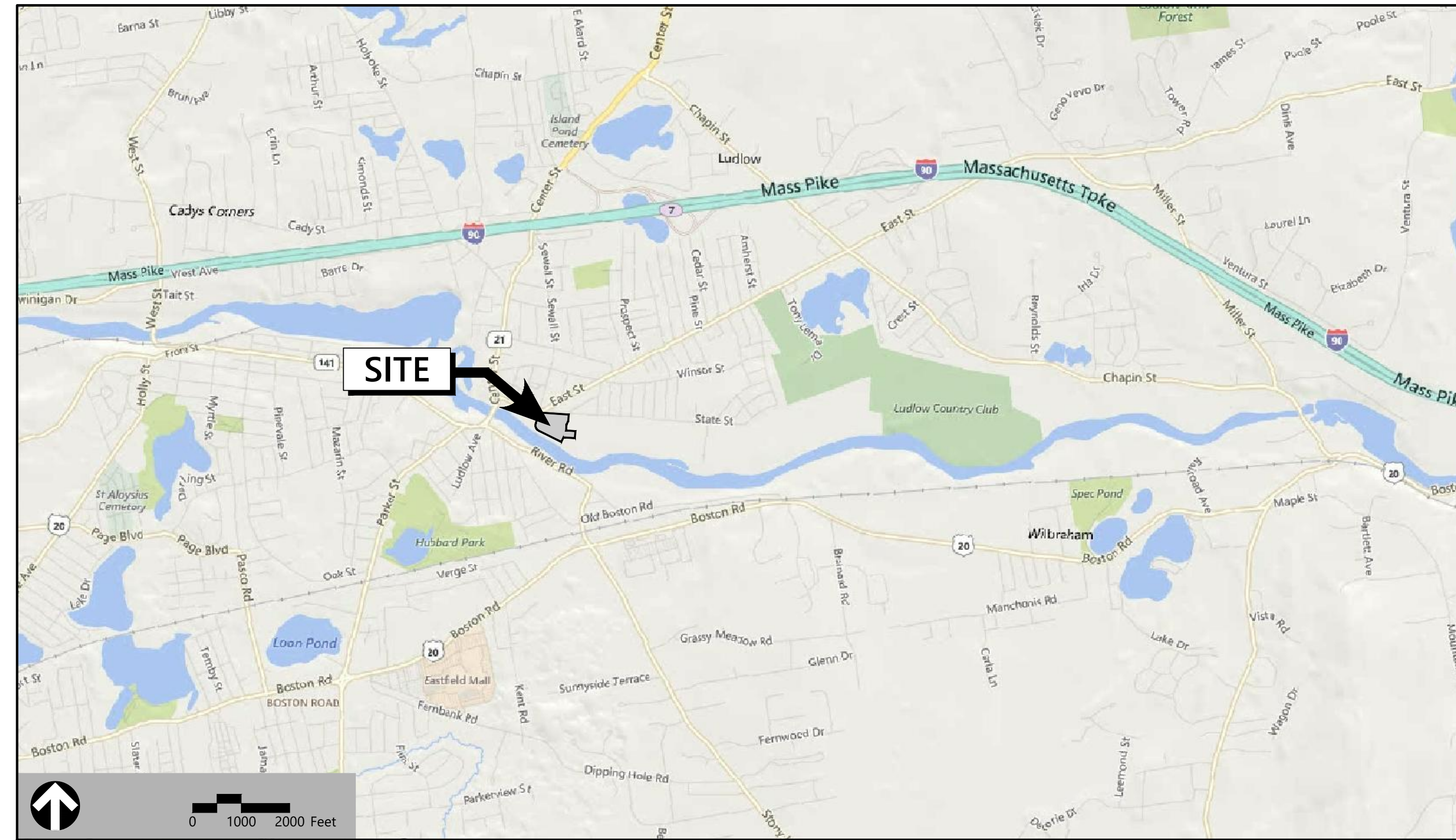


# Site Plans

Issued for	Local Approval
Date Issued	November 13, 2020
Latest Issue	November 13, 2020

## Mill #8 Adaptive Reuse

1 State Street  
Ludlow, Massachusetts



120 Front Street  
Suite 500  
Worcester, MA 01608  
508.752.1001

### Site Lighting Designer

Engineering Advantage, Inc.  
800 Main Street  
Fifth Floor  
Waltham, MA 02541  
617.288.3969

### Landscape Architect and Traffic Engineer

VHB  
101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770

### Architect

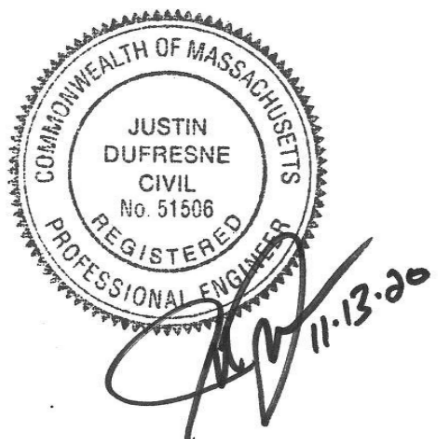
The Architectural Team Inc.  
50 Commandant's Way at  
Admiral's Hill  
Chelsea, MA 02150  
617.889.4402

### Land Surveyor

Heritage Surveys, Inc.  
241 College Highway Street  
PO Box 1  
Southampton, MA 01073  
413.527.3600

APPROVED BY THE  
LUDLOW PLANNING BOARD

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
DATE: \_\_\_\_\_



### Sheet Index

No.	Drawing Title	Latest Issue
C1.01	Legend, Abbreviations and General Notes	November 13, 2020
C2.01	Layout and Materials Plan	November 13, 2020
C3.01	Grading, Drainage and Erosion Control Plan	November 13, 2020
C4.01	Utility Plan	November 13, 2020
C5.01-5.02	Site Details	November 13, 2020
L1.01	Planting Plan	November 13, 2020
L2.01	Planting Details	November 13, 2020

### Reference Drawings

No.	Drawing Title	Latest Issue
	Plan of Land in Ludlow Massachusetts	November 13, 2020
SE-1	Site Lighting Plan	November 12, 2020
SE-2	Photometric Plan	November 12, 2020
A4.01	Proposed Exterior Elevations	December 4, 2020
A4.02	Proposed Exterior Elevations	December 4, 2020

### Owner

WestMass Area Development Corporation  
255 Padgette Street #1  
Chicopee, Massachusetts 01022

### Applicant

WinnDevelopment  
1 Washington Mall, Suite 500  
Boston, MA 02108

Assessor's Map: 14B  
Lot: 130



120 Front Street  
Suite 500  
Worcester, MA 01608  
508.752.1001

Legend

Legend table with columns: Exist., Prop., and description. Includes symbols for property lines, pavements, buildings, curbs, and various utility markers.

Abbreviations

Abbreviations table with columns: General and Utility. Lists codes for items like ABAN (ABANDON), ACR (ACCESSIBLE CURB RAMP), and CB (CATCH BASIN).

Notes

- Notes section containing 14 numbered items detailing contractor responsibilities, safety requirements, and site conditions.

Layout and Materials

- Layout and Materials section containing 6 numbered items regarding dimensions, curbing, and construction details.

Demolition

- Demolition section containing 5 numbered items detailing removal and disposal of existing structures and materials.

Erosion Control

- Erosion Control section containing 4 numbered items detailing erosion control measures and sequencing.

Existing Conditions Information

- Existing Conditions Information section containing 2 numbered items detailing field survey data and utility locations.

Document Use

- Document Use section containing 4 numbered items detailing the use of plans, electronic versions, and materials.

APPROVED BY THE  
LUDLOW PLANNING BOARD

Approval signature lines and a DATE: field.

Mill #8 Adaptive Reuse

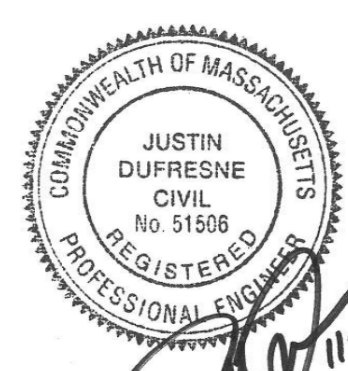
100 State Street  
Ludlow, Massachusetts

Table with columns: No., Revision, Date, Appr. for tracking document changes.

Designed by: Justin Dupresne  
Checked by: [Signature]  
Issued for: [Signature] Date: November 13, 2020

Local Approvals November 13, 2020

Not for Construction  
Legend, Abbreviations  
and General Notes



C1.01

Sheet 1 of 8

Project Number 15057.00

KOS REALTY, INC.  
OK 4972 PAGES 61 & 63  
BOOK 5845 PAGE 123  
LAN BOOK 192 PAGE 24

RIVERSIDE DRIVE LAYOUT AND IMPROVEMENTS TO BE FORMALIZED AND COMPLETED BY OTHERS

PROPOSED DRIVEWAY TO CONNECT TO RIVERSIDE DRIVE

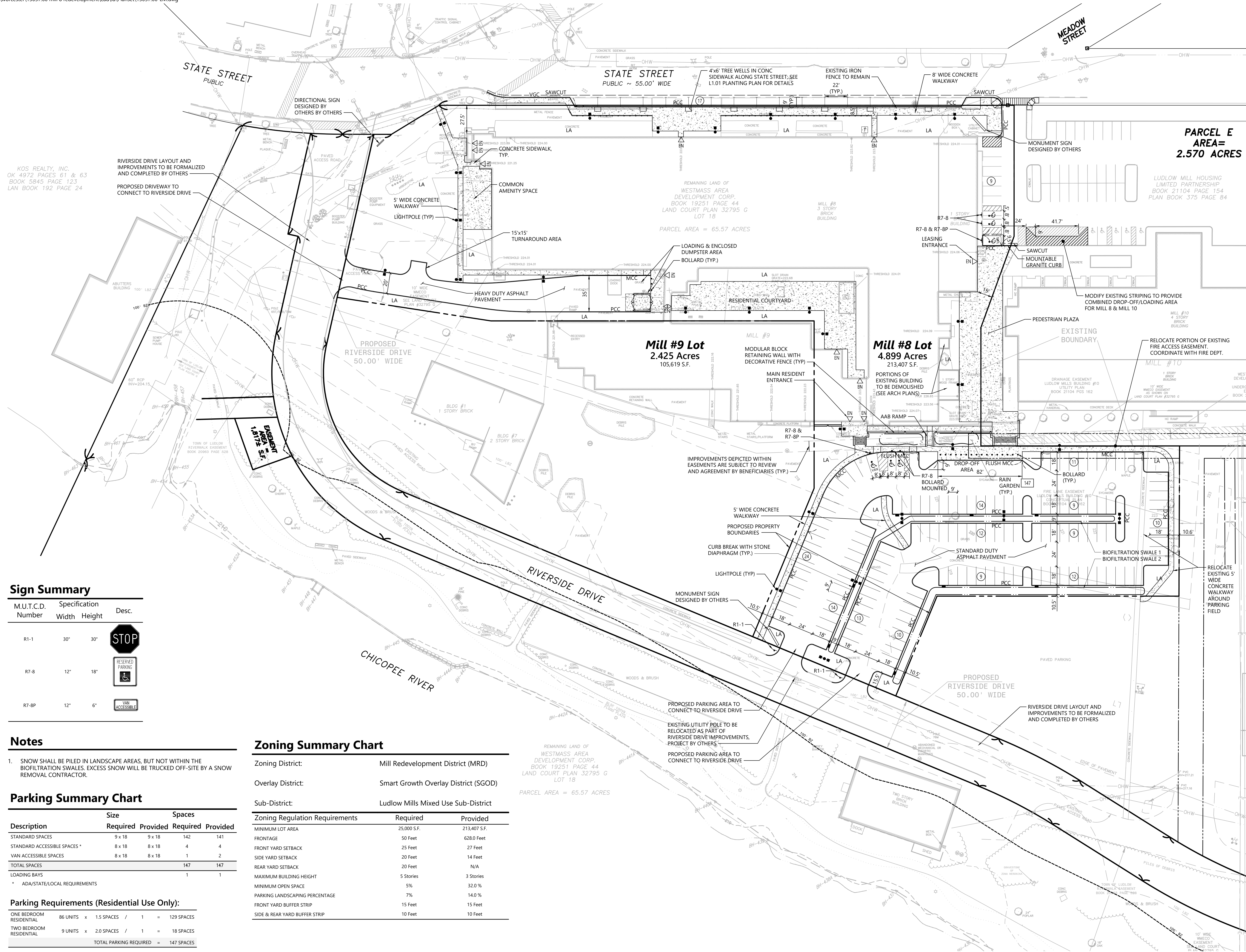
**PARCEL E AREA= 2.570 ACRES**

LUDLOW MILL HOUSING LIMITED PARTNERSHIP  
BOOK 21104 PAGE 154  
PLAN BOOK 375 PAGE 84

REMAINING LAND OF WESTMASS AREA DEVELOPMENT CORP.  
BOOK 19251 PAGE 44  
LAND COURT PLAN 32795 G LOT 18  
PARCEL AREA = 65.57 ACRES

**Mill #9 Lot**  
2.425 Acres  
105,619 S.F.

**Mill #8 Lot**  
4.899 Acres  
213,407 S.F.



**Sign Summary**

M.U.T.C.D. Number	Specification Width	Height	Desc.
R1-1	30"	30"	
R7-8	12"	18"	
R7-8P	12"	6"	

**Notes**

- SNOW SHALL BE PILED IN LANDSCAPE AREAS, BUT NOT WITHIN THE BIOFILTRATION SWALES. EXCESS SNOW WILL BE TRUCKED OFF-SITE BY A SNOW REMOVAL CONTRACTOR.

**Parking Summary Chart**

Description	Size		Spaces	
	Required	Provided	Required	Provided
STANDARD SPACES	9 x 18	9 x 18	142	141
STANDARD ACCESSIBLE SPACES *	8 x 18	8 x 18	4	4
VAN ACCESSIBLE SPACES	8 x 18	8 x 18	1	2
<b>TOTAL SPACES</b>			<b>147</b>	<b>147</b>
LOADING BAYS			1	1

\* ADA/STATE/LOCAL REQUIREMENTS

**Parking Requirements (Residential Use Only):**

ONE BEDROOM RESIDENTIAL	86 UNITS x 1.5 SPACES / 1 = 129 SPACES
TWO BEDROOM RESIDENTIAL	9 UNITS x 2.0 SPACES / 1 = 18 SPACES
<b>TOTAL PARKING REQUIRED =</b>	<b>147 SPACES</b>

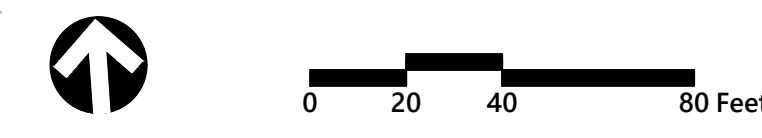
**Zoning Summary Chart**

Zoning District:	Mill Redevelopment District (MRD)
Overlay District:	Smart Growth Overlay District (SGOD)
Sub-District:	Ludlow Mills Mixed Use Sub-District
<b>Zoning Regulation Requirements</b>	<b>Required</b> / <b>Provided</b>
MINIMUM LOT AREA	25,000 S.F. / 213,407 S.F.
FRONTAGE	50 Feet / 628.0 Feet
FRONT YARD SETBACK	25 Feet / 27 Feet
SIDE YARD SETBACK	20 Feet / 14 Feet
REAR YARD SETBACK	20 Feet / N/A
MAXIMUM BUILDING HEIGHT	5 Stories / 3 Stories
MINIMUM OPEN SPACE	5% / 32.0 %
PARKING LANDSCAPING PERCENTAGE	7% / 14.0 %
FRONT YARD BUFFER STRIP	15 Feet / 15 Feet
SIDE & REAR YARD BUFFER STRIP	10 Feet / 10 Feet

REMAINING LAND OF WESTMASS AREA DEVELOPMENT CORP.  
BOOK 19251 PAGE 44  
LAND COURT PLAN 32795 G LOT 18  
PARCEL AREA = 65.57 ACRES

APPROVED BY THE LUDLOW PLANNING BOARD

DATE: \_\_\_\_\_



**Mill #8 Adaptive Reuse**  
100 State Street  
Ludlow, Massachusetts

No.	Revision	Date	Appr.

Designed by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
Issued for: \_\_\_\_\_ Date: \_\_\_\_\_  
**Local Approvals** November 13, 2020

**Not for Construction**  
Drawing Title  
**Layout and Materials Plan**

**C2.01**  
Sheet 2 of 8  
Project Number 15057.00



120 Front Street  
Suite 500  
Worcester, MA 01608  
508.752.1001

KOS REALTY, INC.  
OK 4972 PAGES 61 & 63  
BOOK 5845 PAGE 123  
LAN BOOK 192 PAGE 24

**PARCEL E  
AREA=  
2.570 ACRES**

LUDLOW MILL HOUSING  
LIMITED PARTNERSHIP  
BOOK 21104 PAGE 154  
PLAN BOOK 375 PAGE 84

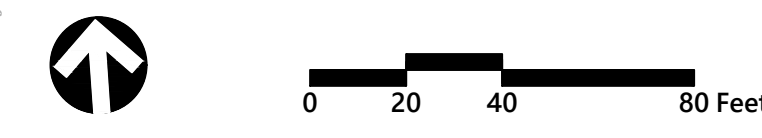
REMAINING LAND OF  
WESTMASS AREA  
DEVELOPMENT CORP.  
BOOK 19251 PAGE 44  
LAND COURT PLAN 32795 G  
LOT 18  
PARCEL AREA = 65.57 ACRES

**Mill #9 Lot  
2.425 Acres  
105,619 S.F.**

**Mill #8 Lot  
4.899 Acres  
213,407 S.F.**

APPROVED BY THE  
LUDLOW PLANNING BOARD

DATE: \_\_\_\_\_



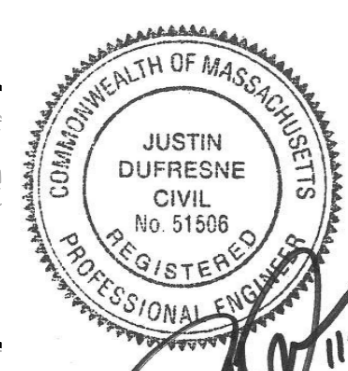
**Mill #8 Adaptive Reuse**  
100 State Street  
Ludlow, Massachusetts

No.	Revision	Date	Appr.

Designed by \_\_\_\_\_ Checked by \_\_\_\_\_  
Issued for \_\_\_\_\_ Date \_\_\_\_\_

Local Approvals November 13, 2020

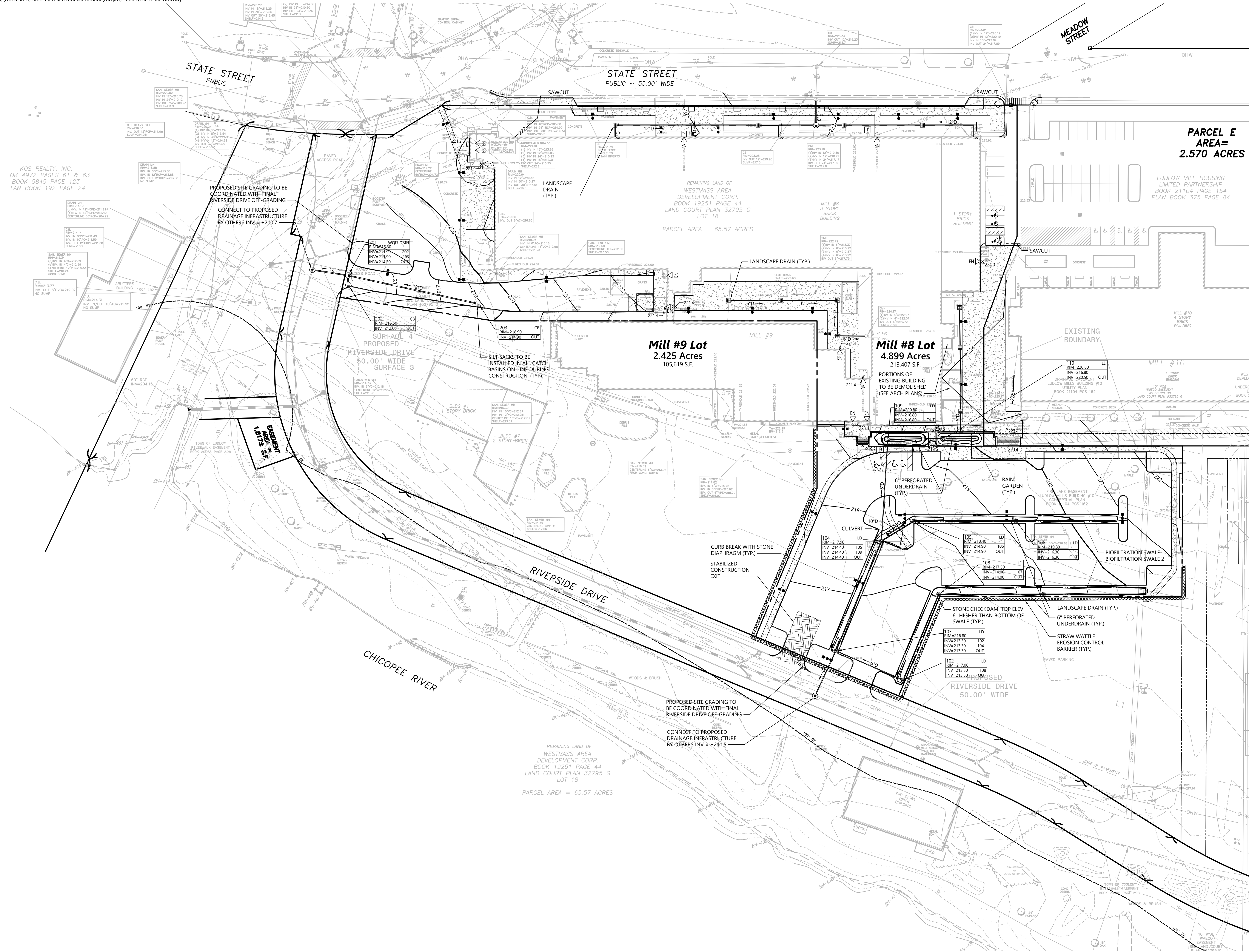
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Drawing Title  
**Grading, Drainage and  
Erosion Control Plan**



**C3.01**

Sheet 3 of 8

Project Number  
15057.00





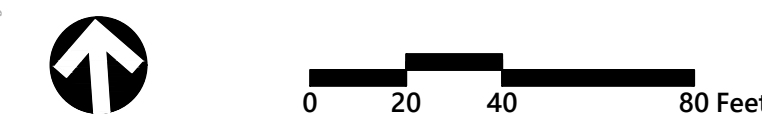
120 Front Street  
Suite 500  
Worcester, MA 01608  
508.752.1001

**PARCEL E  
AREA =  
2.570 ACRES**

LUDLOW MILL HOUSING  
LIMITED PARTNERSHIP  
BOOK 21104 PAGE 154  
PLAN BOOK 375 PAGE 84

APPROVED BY THE  
LUDLOW PLANNING BOARD

DATE: \_\_\_\_\_



### Mill #8 Adaptive Reuse

100 State Street  
Ludlow, Massachusetts

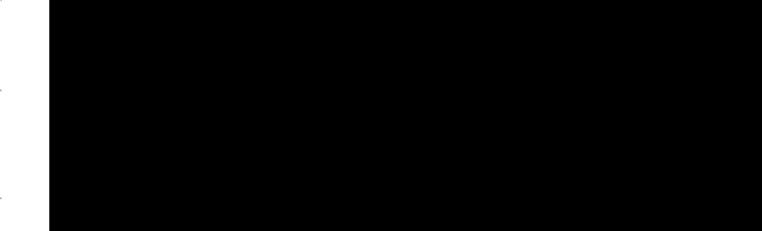
No.	Revision	Date	App'd

Designed by \_\_\_\_\_ Checked by \_\_\_\_\_

Issued for \_\_\_\_\_ Date \_\_\_\_\_

Local Approvals November 13, 2020

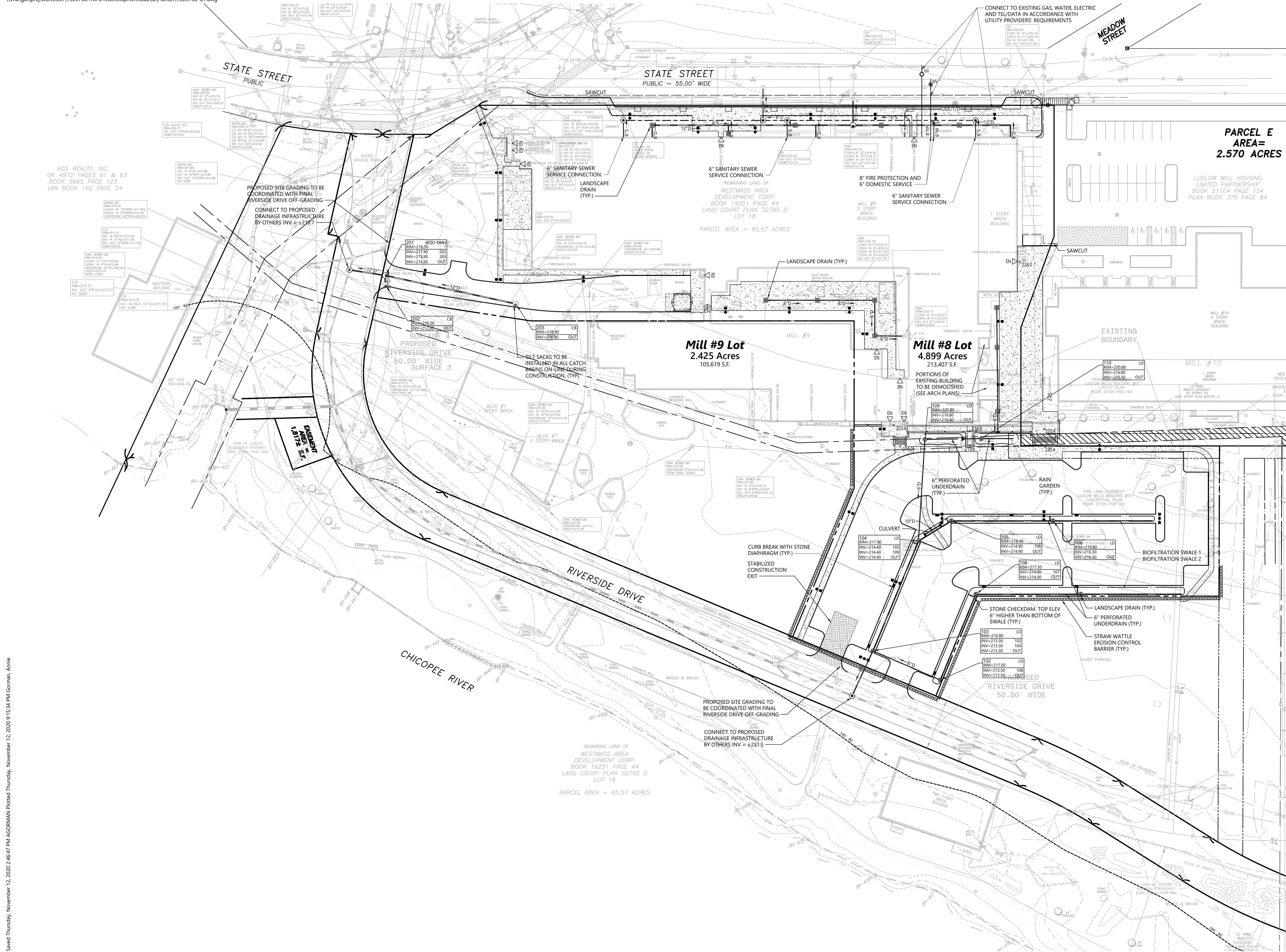
Not for Construction  
Drawing Title  
**Utility Plan**



# C4.01

Sheet 4 of 8

Project Number  
15057.00



KOS REALTY, INC.  
OK 4972 PAGES 61 & 63  
BOOK 5845 PAGE 123  
LAN BOOK 192 PAGE 24

PROPOSED SITE GRADING TO BE  
COORDINATED WITH FINAL  
RIVERSIDE DRIVE OFF-GRADING  
CONNECT TO PROPOSED  
DRAINAGE INFRASTRUCTURE  
BY OTHERS INV. = +210.7

**Mill #9 Lot**  
2.425 Acres  
105,619 S.F.

**Mill #8 Lot**  
4.899 Acres  
213,407 S.F.

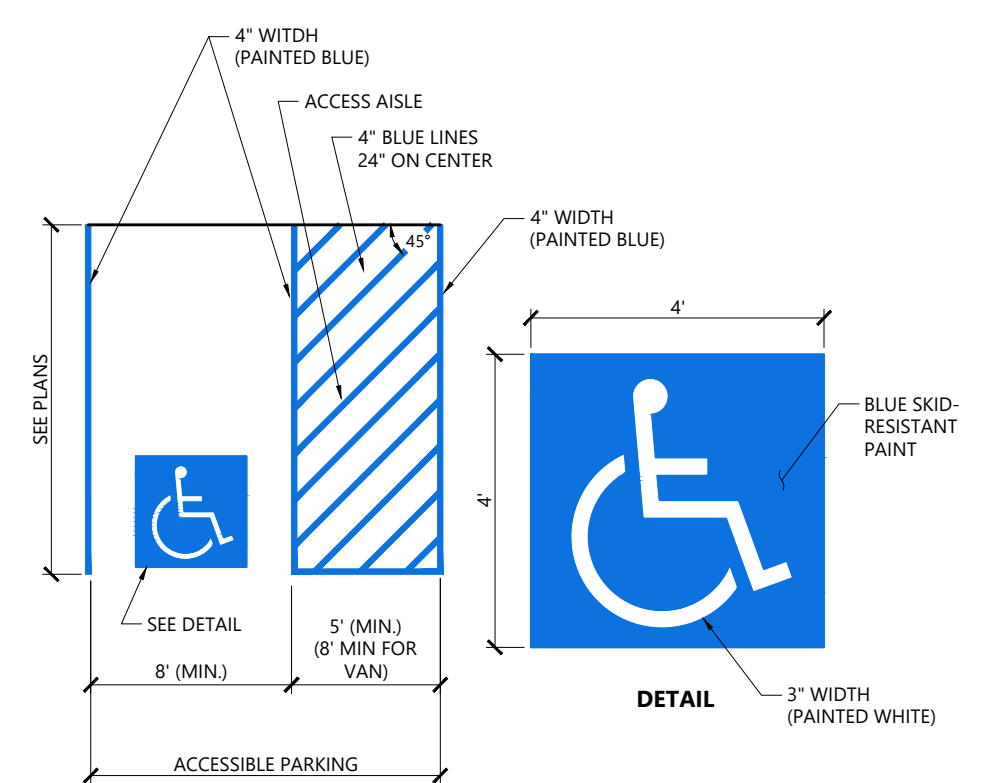
REMAINING LAND OF  
WESTMASS AREA  
DEVELOPMENT CORP.  
BOOK 19251 PAGE 44  
LAND COURT PLAN 32795 G  
LOT 18  
PARCEL AREA = 65.57 ACRES

PROPOSED SITE GRADING TO  
BE COORDINATED WITH FINAL  
RIVERSIDE DRIVE OFF-GRADING  
CONNECT TO PROPOSED  
DRAINAGE INFRASTRUCTURE  
BY OTHERS INV. = +211.5

PORTIONS OF  
EXISTING BUILDING  
TO BE DEMOLISHED  
(SEE ARCH PLANS)



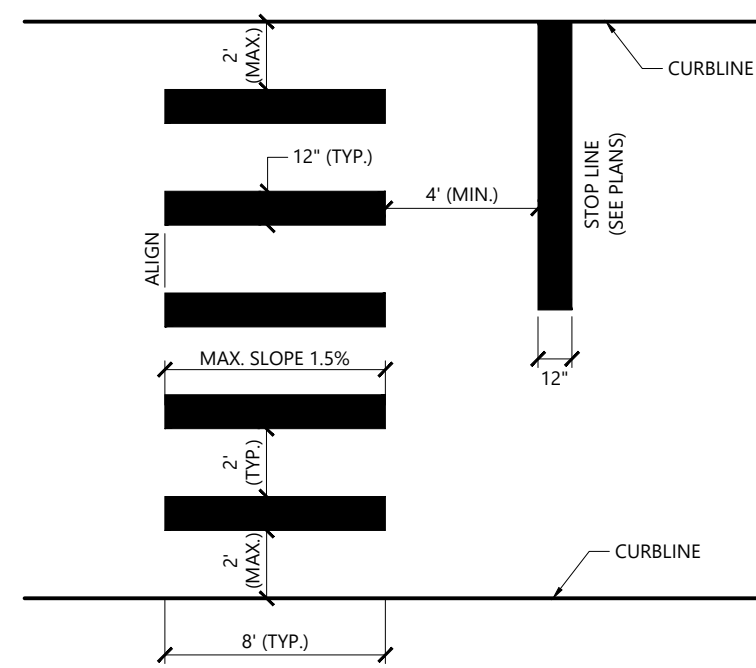
120 Front Street  
Suite 500  
Worcester, MA 01608  
508.752.1001



**NOTES**

1. ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING.
2. 8' STALL WIDTH REFERS TO 8' CLEAR BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS.
3. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1.5%.
4. ACCESS AISLE MEASURED BETWEEN OUTSIDE EDGES OF PAVEMENT MARKINGS.

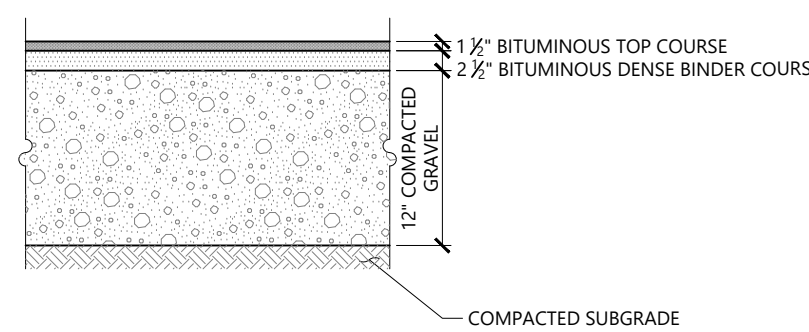
**Accessible Parking Space** 1/16  
N.T.S. Source: VHB LD\_552B



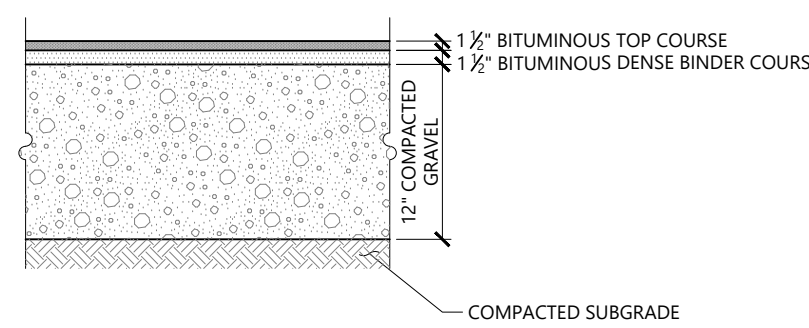
**NOTES**

1. TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO - 6 INCH LINES) WILL BE ACCEPTED.
2. LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURBLINE.
3. ALL LONGITUDINAL CROSSWALK LINES TO BE THE SAME LENGTH AND PROPERLY ALIGNED.
4. CROSS WALK SIDESLOPE SHALL NOT EXCEED 1.5%.

**Crosswalk** 1/16  
N.T.S. Source: VHB LD\_553



**HEAVY DUTY FLEXIBLE PAVEMENT**

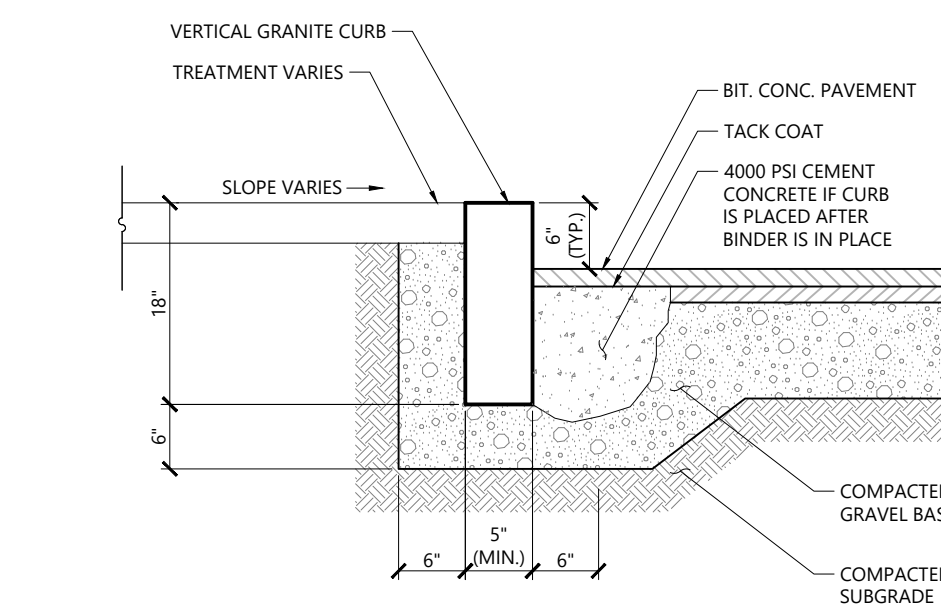


**STANDARD DUTY FLEXIBLE PAVEMENT**

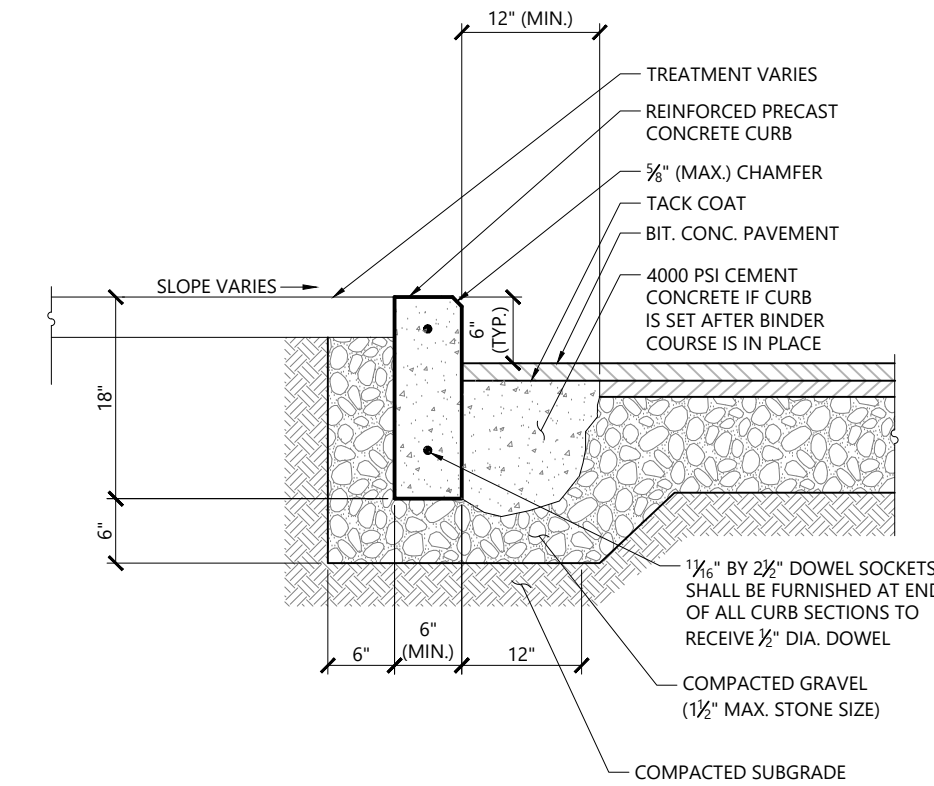
**NOTES**

PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.

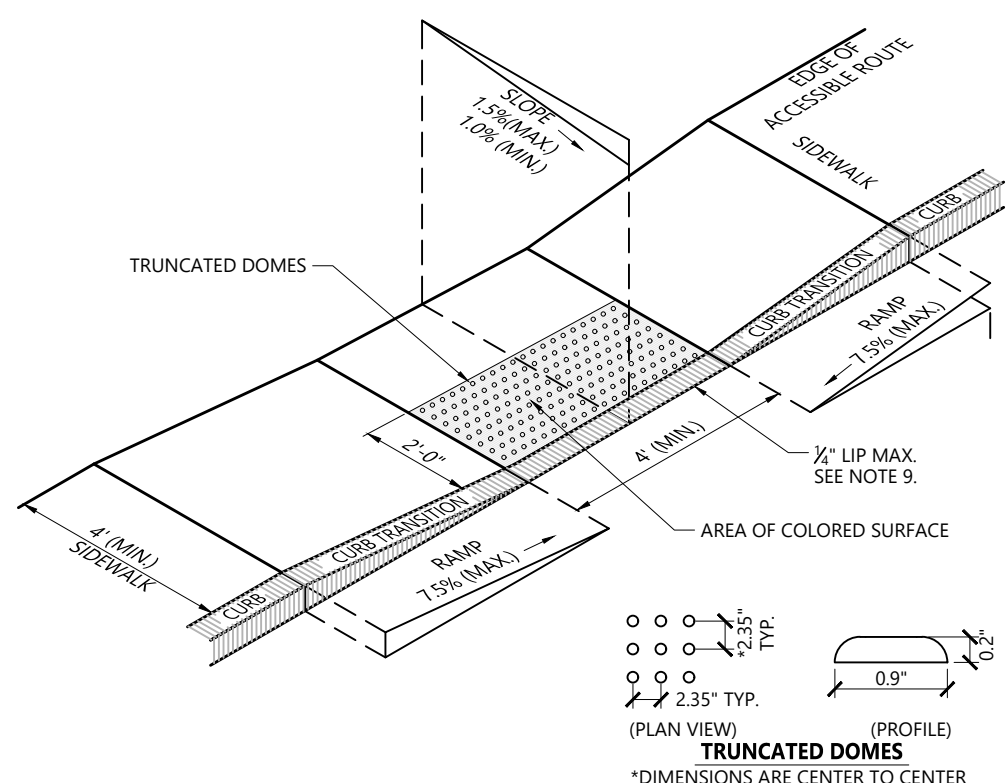
**Bituminous Concrete Pavement Sections** 1/16  
N.T.S. Source: VHB LD\_430



**Vertical Granite Curb (VGC)** 1/16  
N.T.S. Source: VHB LD\_402



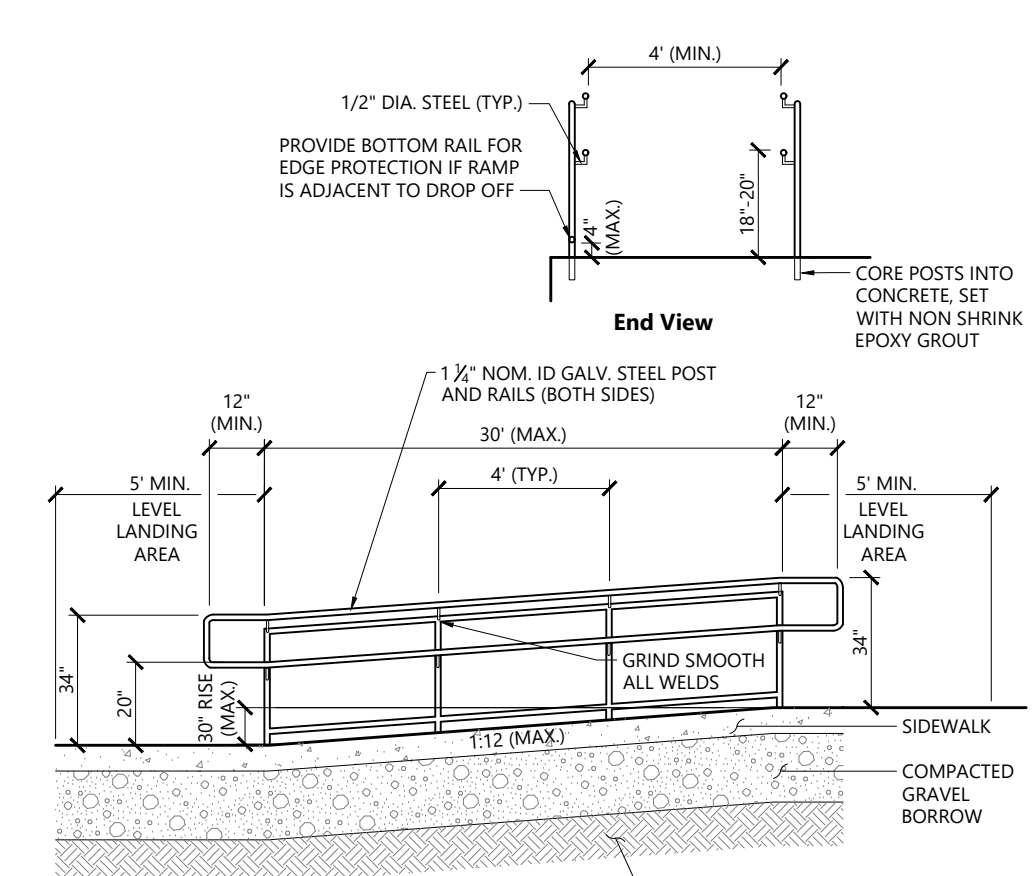
**Precast Concrete Curb (PCC)** 1/16  
N.T.S. Source: VHB LD\_404



**NOTES**

1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. ELIMINATE CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.
10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO ACCESSIBLE ROUTE.

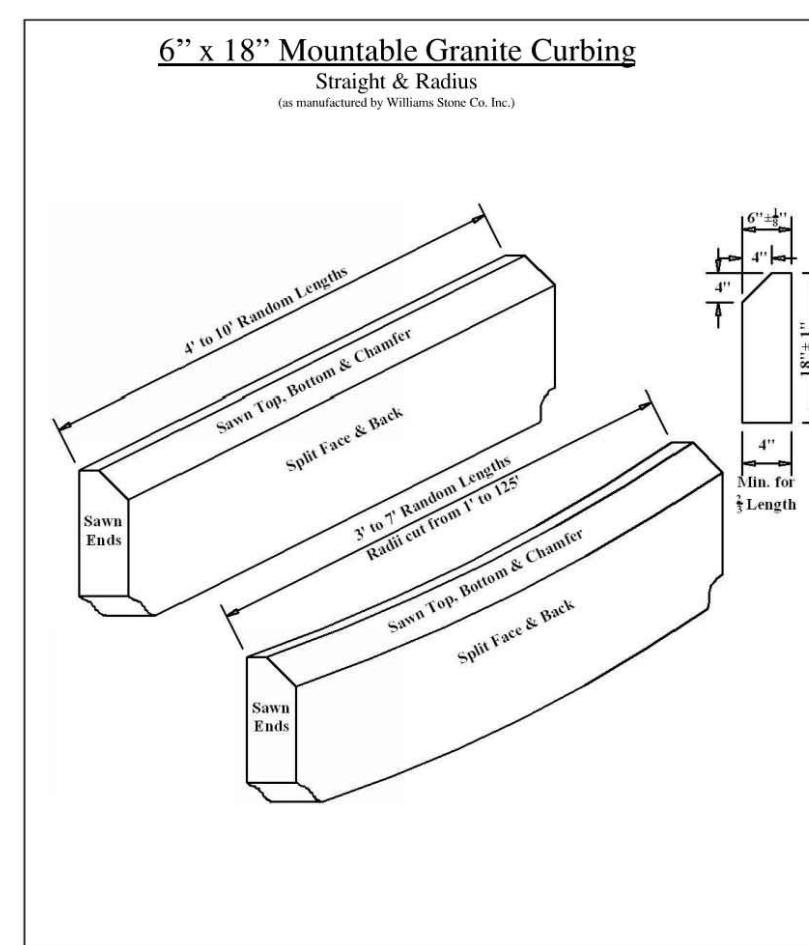
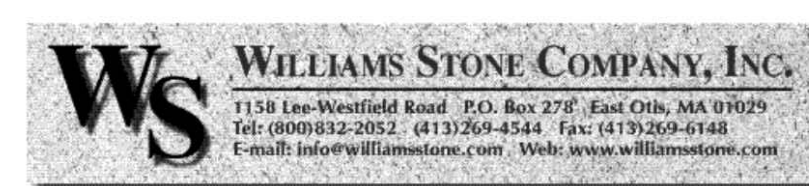
**Accessible Curb Ramp (ACR) Type 'A-D'** 1/16  
N.T.S. Source: VHB LD\_764D



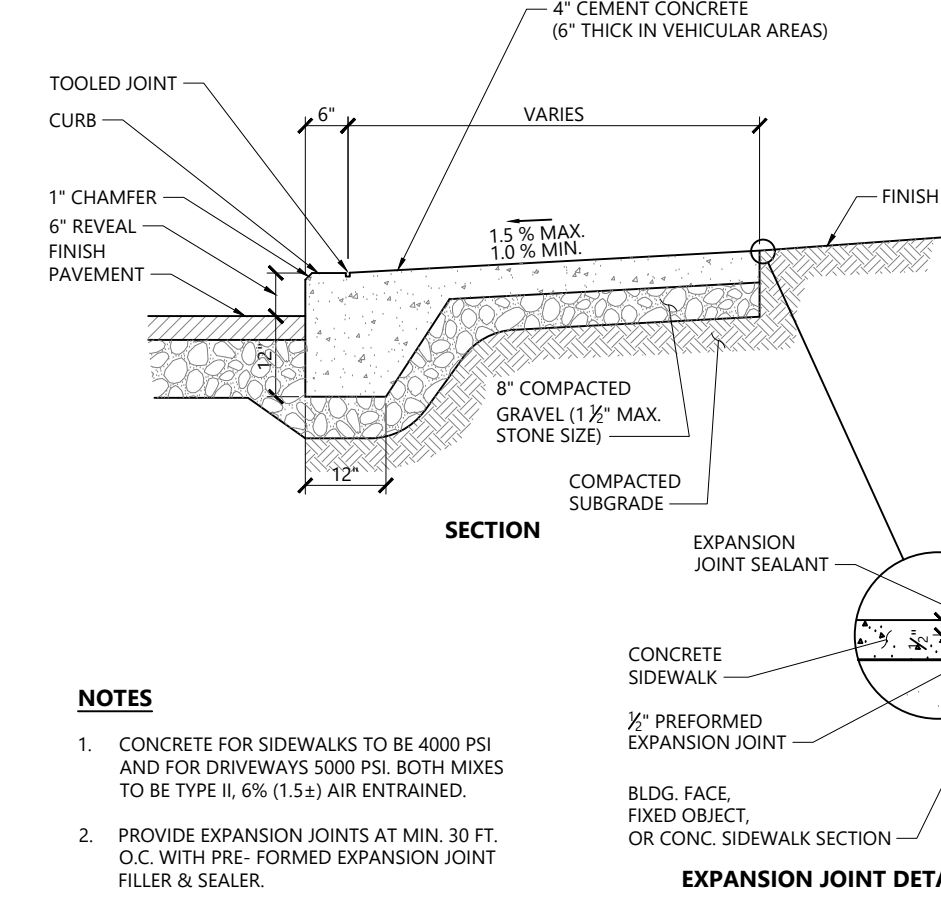
**NOTES**

1. FOR ADDITIONAL INFORMATION SEE 521 CMR 24.00 RAMPS.
2. REFER TO SIDEWALK DETAIL FOR SIDEWALK CONSTRUCTION.

**AAB Ramp** 9/17  
N.T.S. Source: VHB LD\_764B



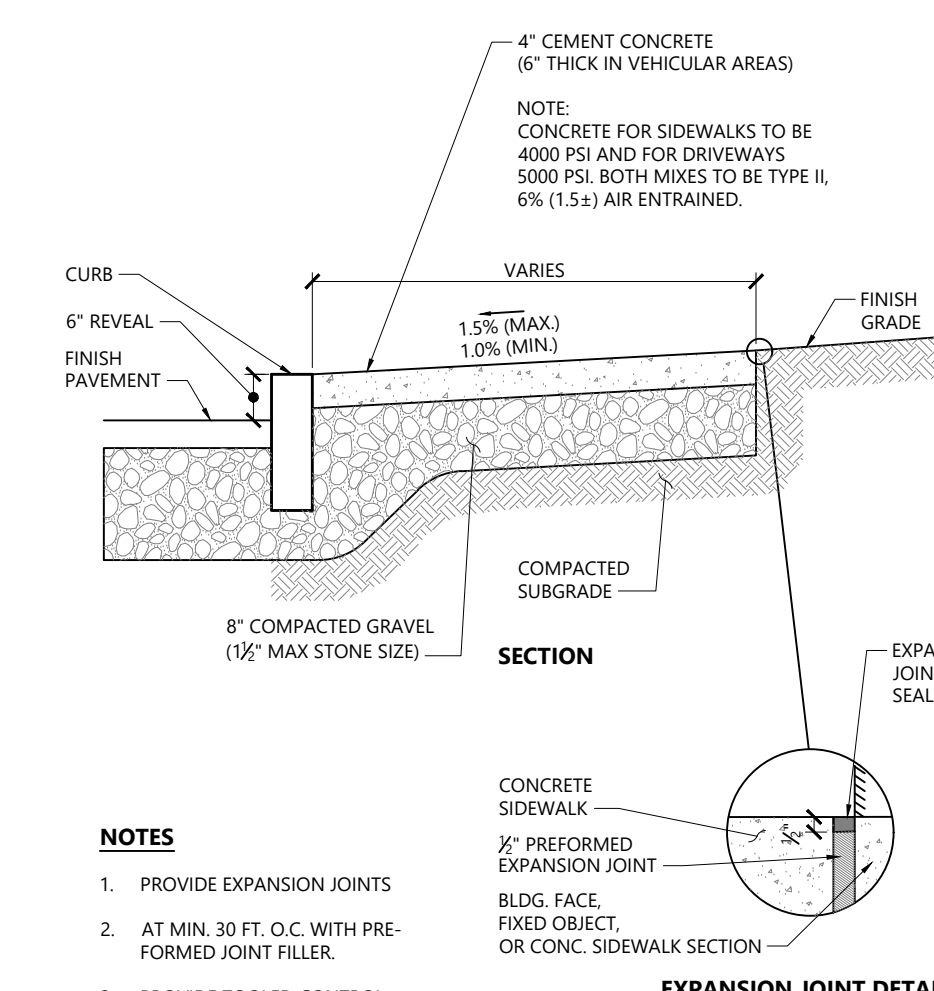
**Mountable Granite Curbing** 1/16  
N.T.S. Source: VHB LD\_421



**NOTES**

1. CONCRETE FOR SIDEWALKS TO BE 4000 PSI AND FOR DRIVEWAYS 5000 PSI. BOTH MIXES TO BE TYPE II, 6% (1.5%) AIR ENTRAINMENT.
2. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-FORMED EXPANSION JOINT FILLER & SEALER.
3. PROVIDE TOOLED CONTROL JOINTS AT 6' O.C.
4. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

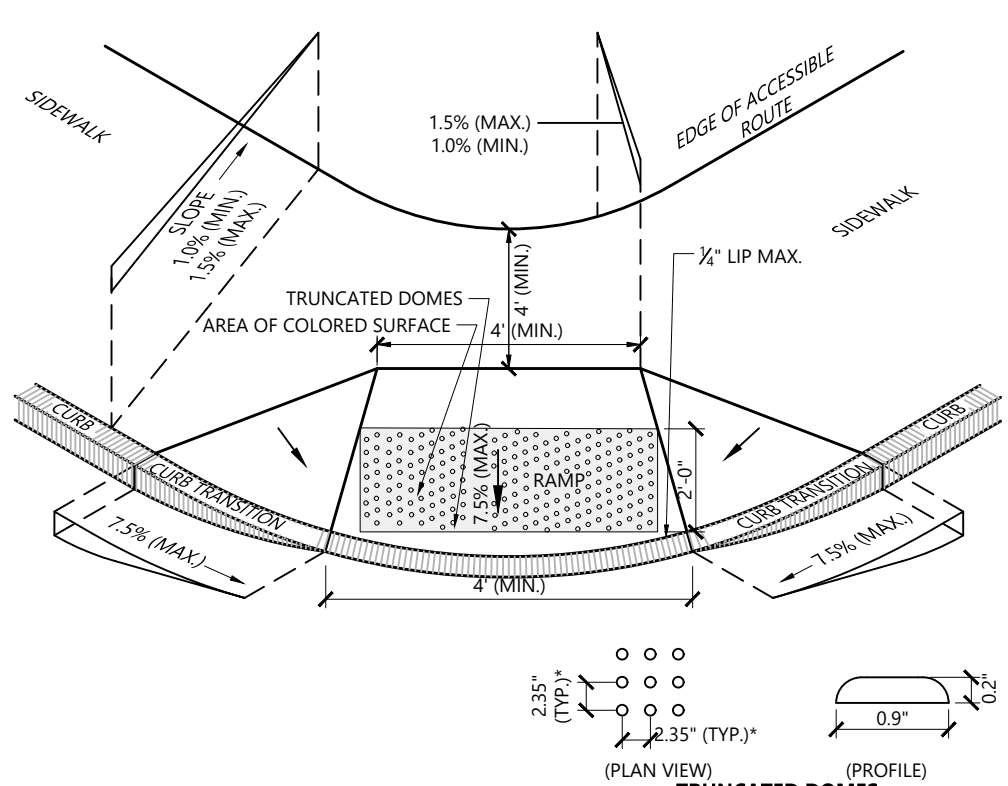
**Monolithic Concrete Curb (MCC) & Sidewalk** 1/16  
N.T.S. Source: VHB LD\_421



**NOTES**

1. PROVIDE EXPANSION JOINTS
2. AT MIN. 30 FT. O.C. WITH PRE-FORMED JOINT FILLER.
3. PROVIDE TOOLED CONTROL JOINTS AT 6' O.C.
4. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

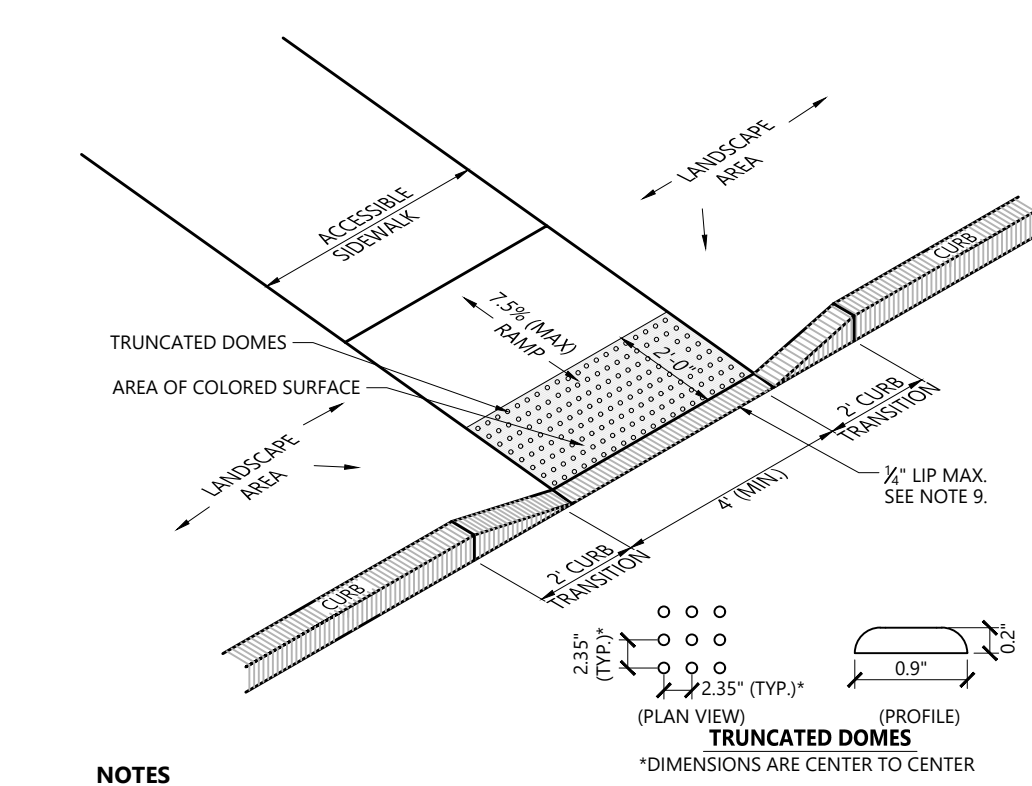
**Concrete Sidewalk** 1/16  
N.T.S. Source: VHB LD\_420



**NOTES**

1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. ELIMINATE CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.
10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.
12. CONTRACTOR TO SUBMIT R.F.I. FOR THIS TYPE OF ACCESSIBLE CURB RAMP FOR APEX ROADWAY CROSSINGS.

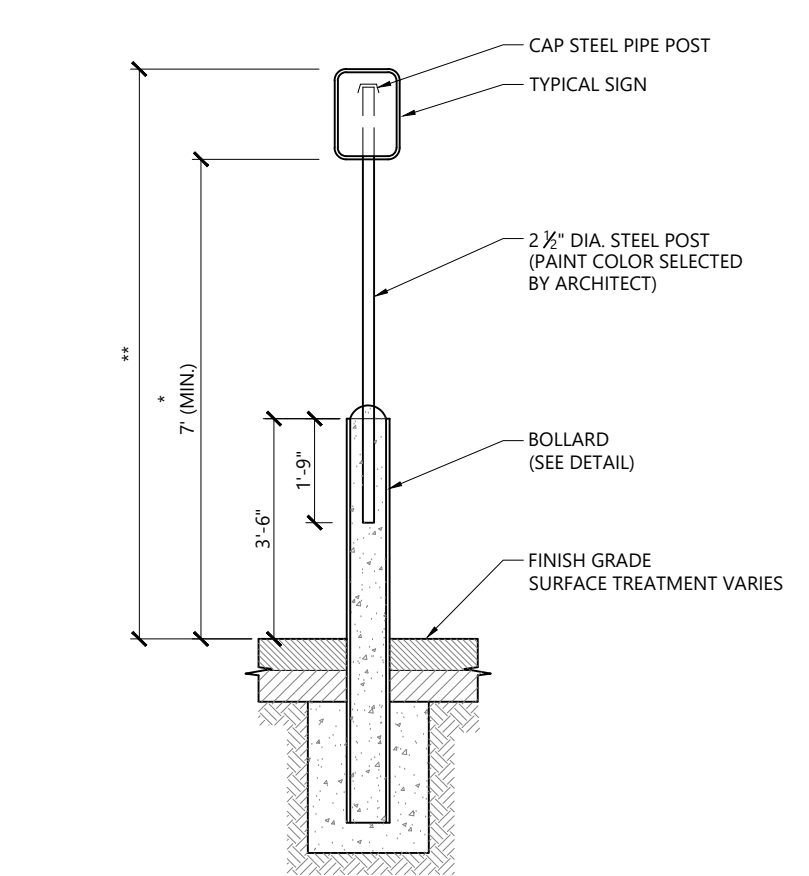
**Accessible Curb Ramp (ACR) Type 'E-D'** 1/16  
N.T.S. Source: VHB LD\_504



**NOTES**

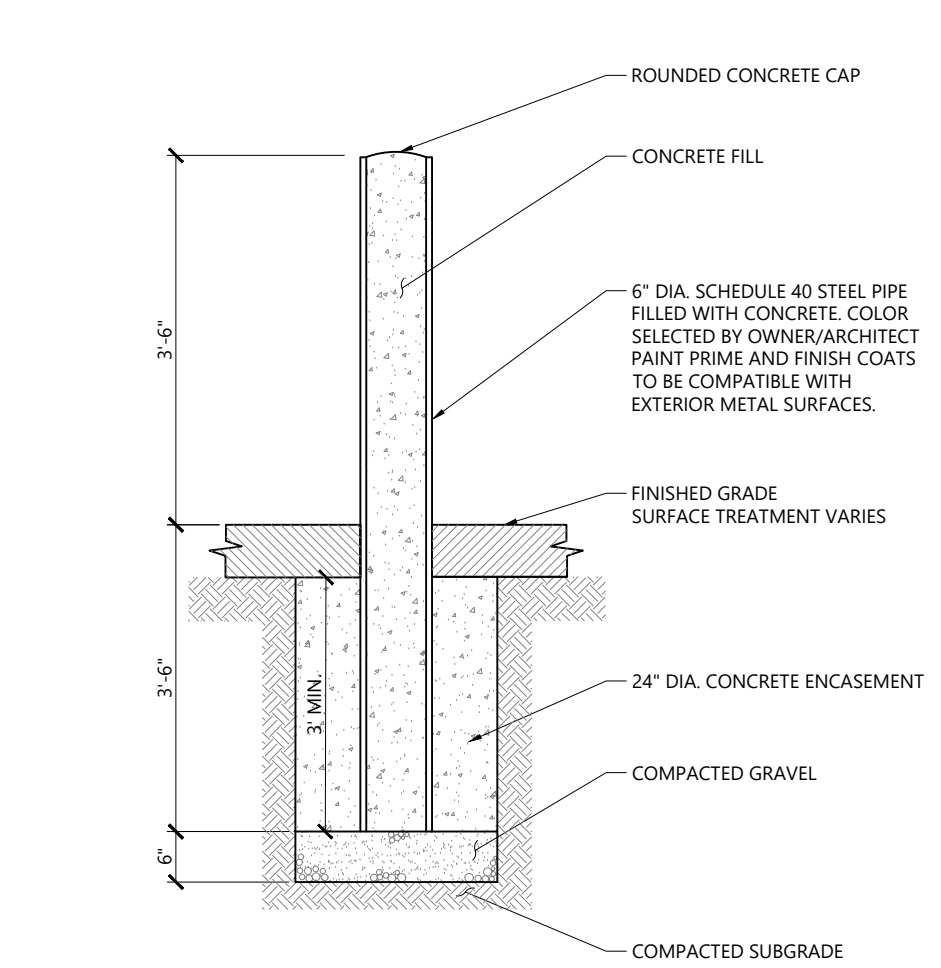
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
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10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.

**Accessible Curb Ramp (ACR) Type 'M-D'** 1/16  
N.T.S. Source: VHB LD\_512

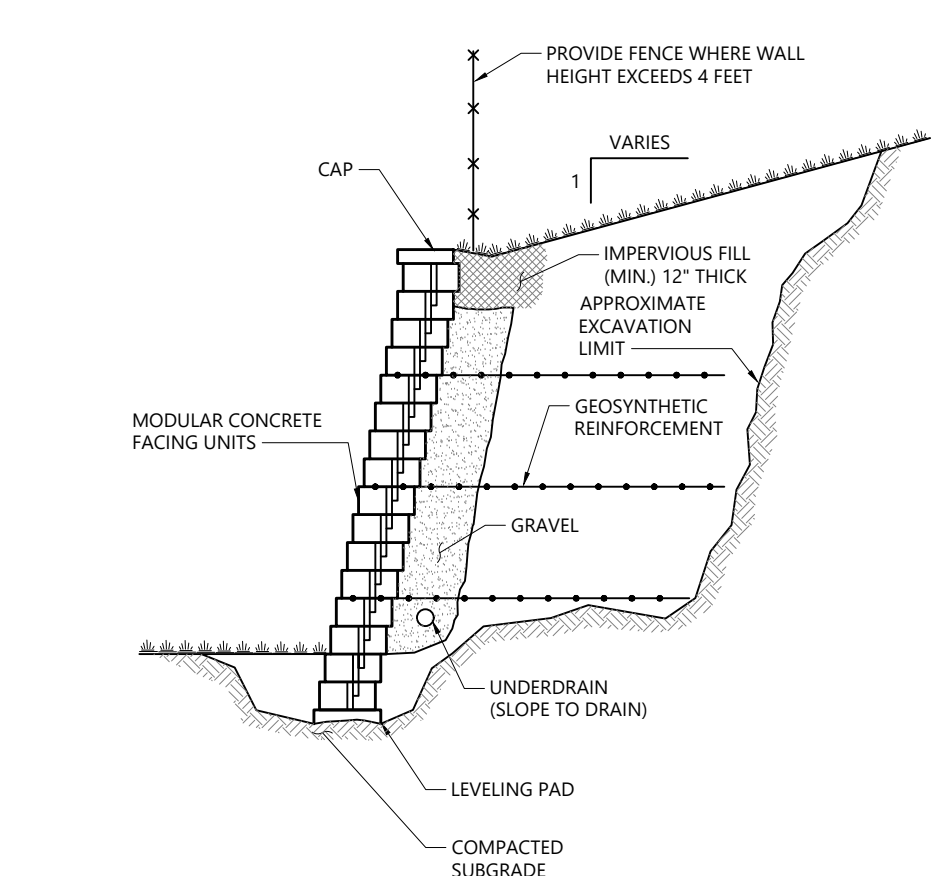


- \* THIS DIMENSION SHALL BE A MINIMUM OF 5' FOR ACCESSIBLE SIGNAGE.
- \*\* THIS DIMENSION SHALL BE A MAXIMUM OF 8' FOR ACCESSIBLE SIGNAGE.

**Bollard Mounted Sign** 1/16  
N.T.S. Source: VHB LD\_703



**Bollard** 9/17  
N.T.S. Source: VHB LD\_700



**NOTES**

DETAIL PROVIDED FOR GENERAL INFORMATION ONLY. STAMPED FINAL DESIGN OF MODULAR WALL SYSTEM TO BE PROVIDED BY WALL MANUFACTURER BASED ON GEOTECHNICAL ENGINEERS RECOMMENDATIONS.

**Modular Retaining Wall** 1/16  
N.T.S. Source: VHB LD\_750

APPROVED BY THE  
LUDLOW PLANNING BOARD

DATE: \_\_\_\_\_

**Mill #8 Adaptive Reuse**

100 State Street  
Ludlow, Massachusetts

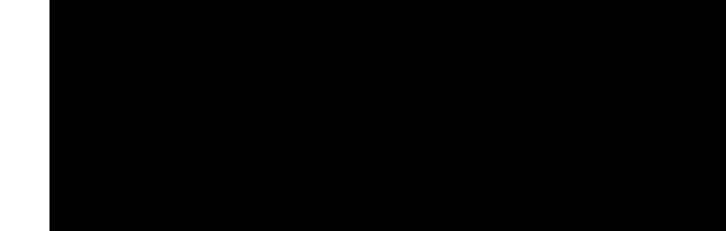
No.	Revision	Date	Appr.

Designed by \_\_\_\_\_ Checked by \_\_\_\_\_

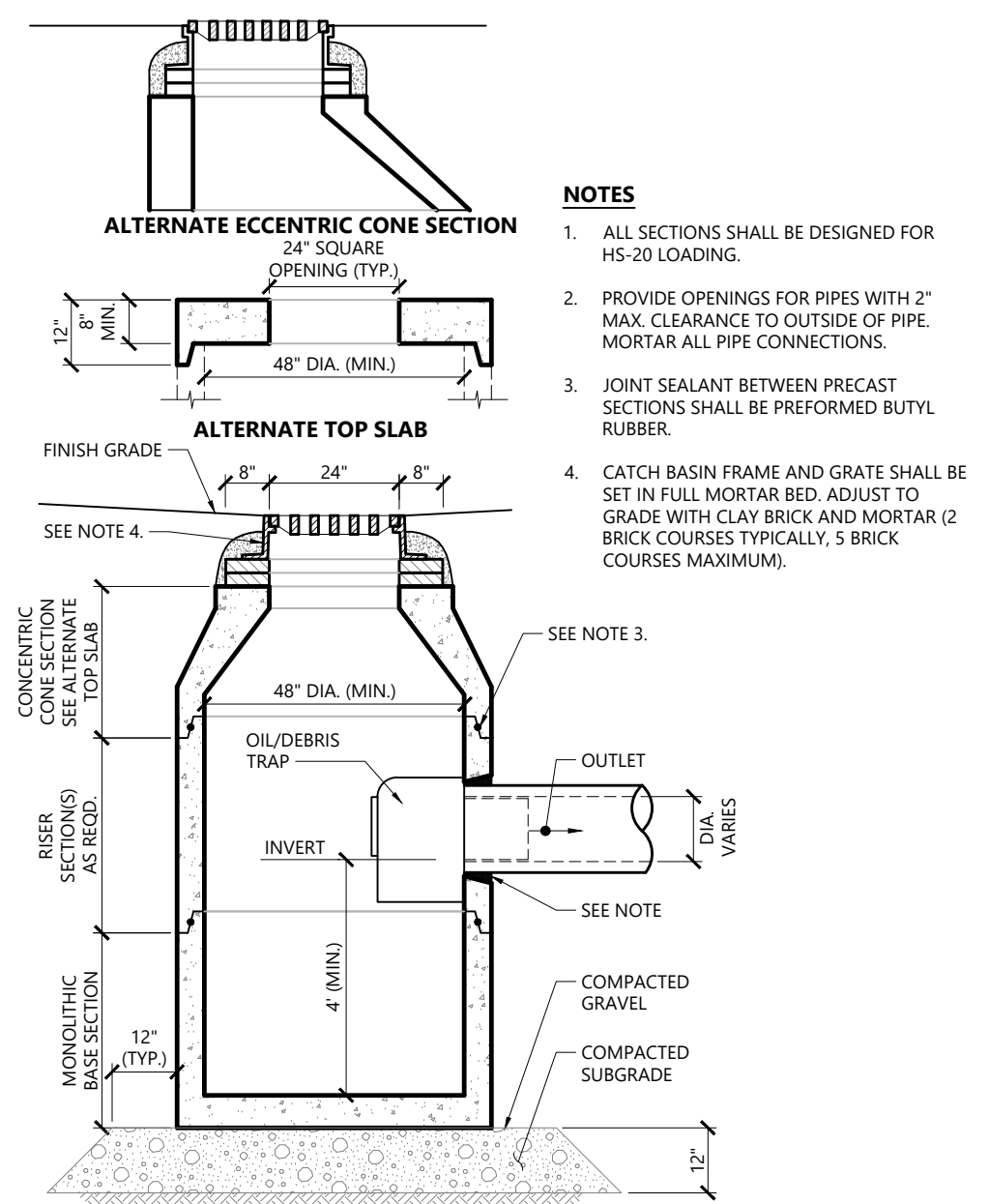
Issued for \_\_\_\_\_ Date \_\_\_\_\_

**Local Approvals** November 13, 2020

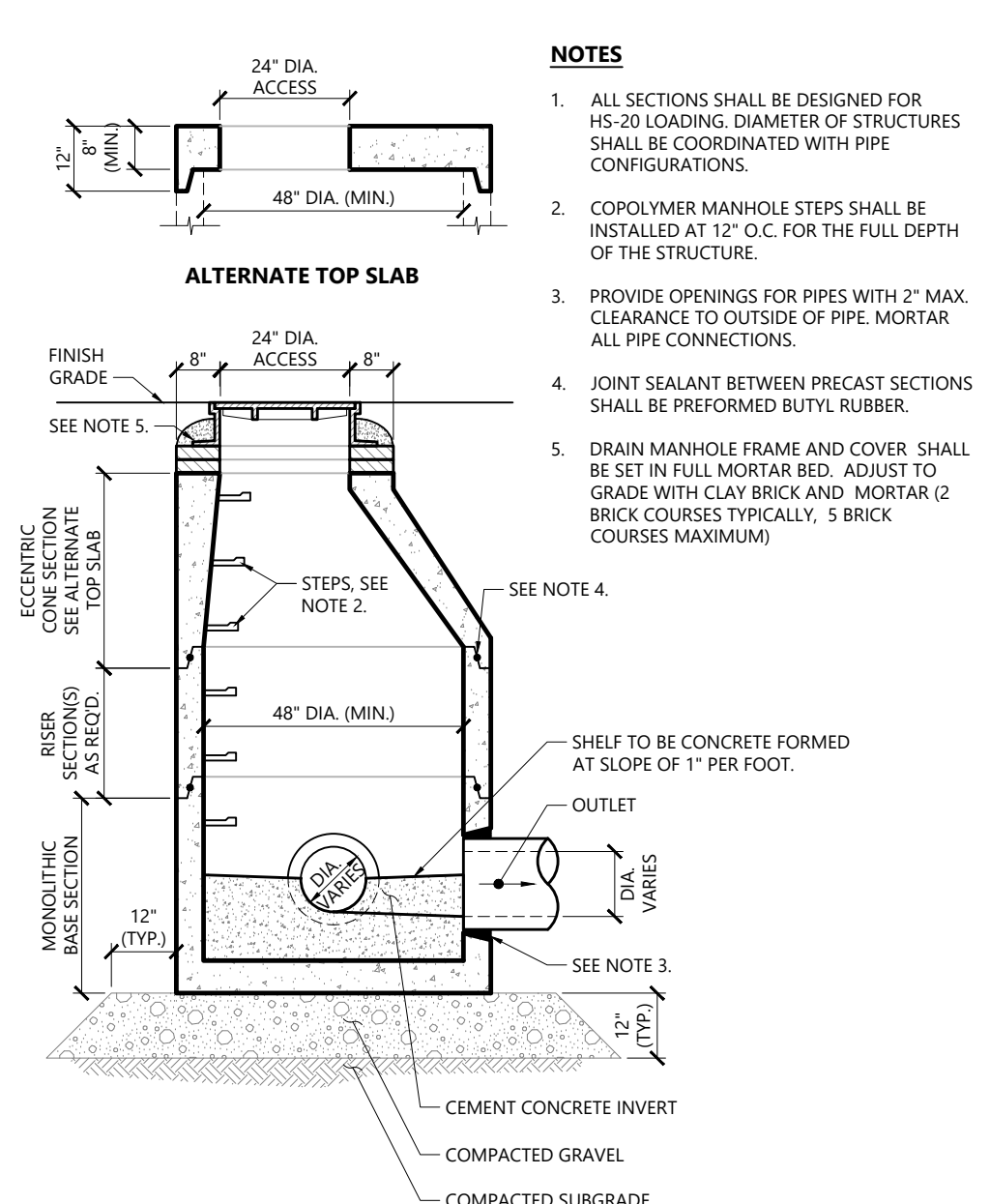
Not for Construction  
Drawing Title  
**Site Details**



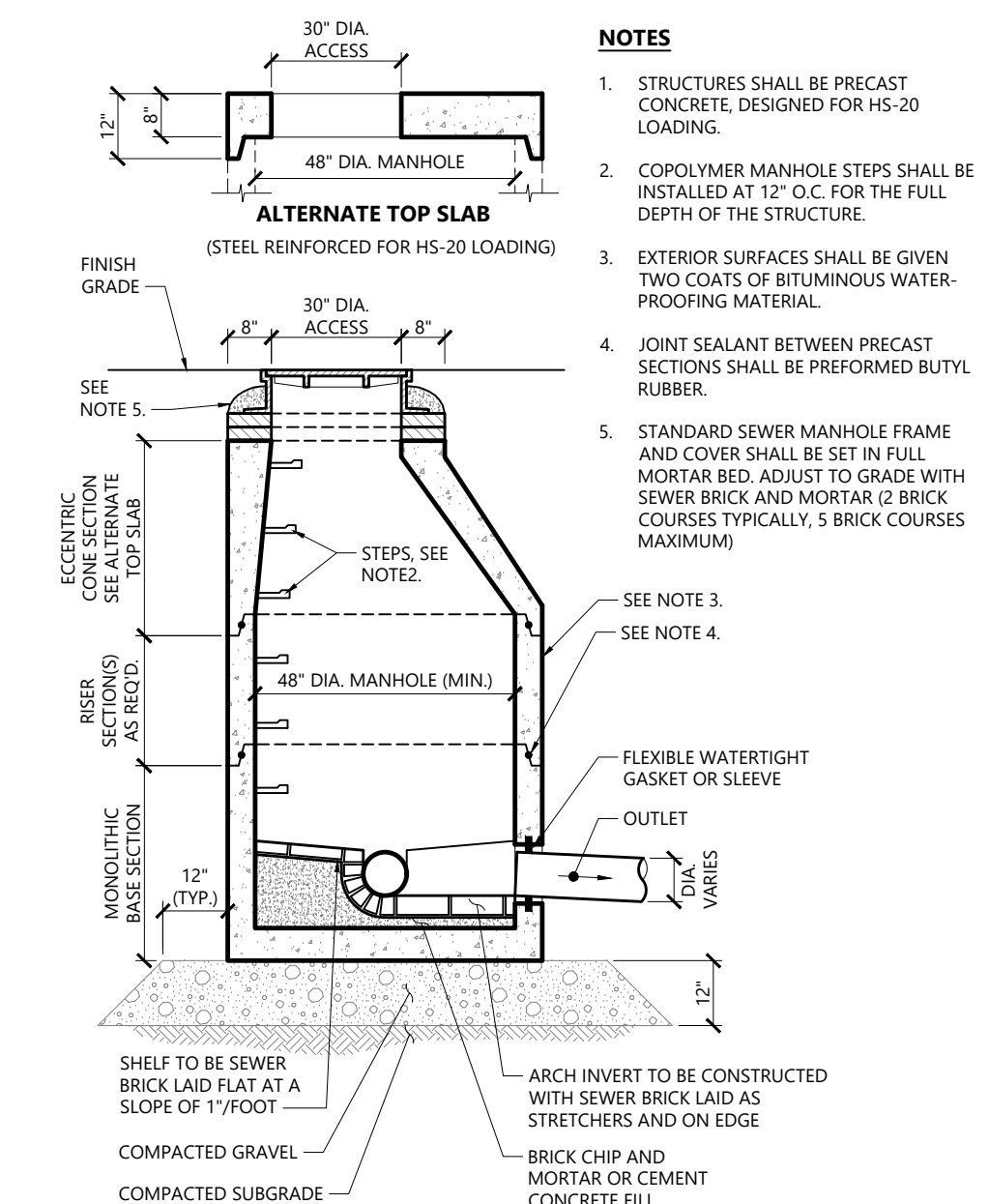
Drawing Number  
**C5.01**  
Sheet 5 of 8  
Project Number  
15057.00



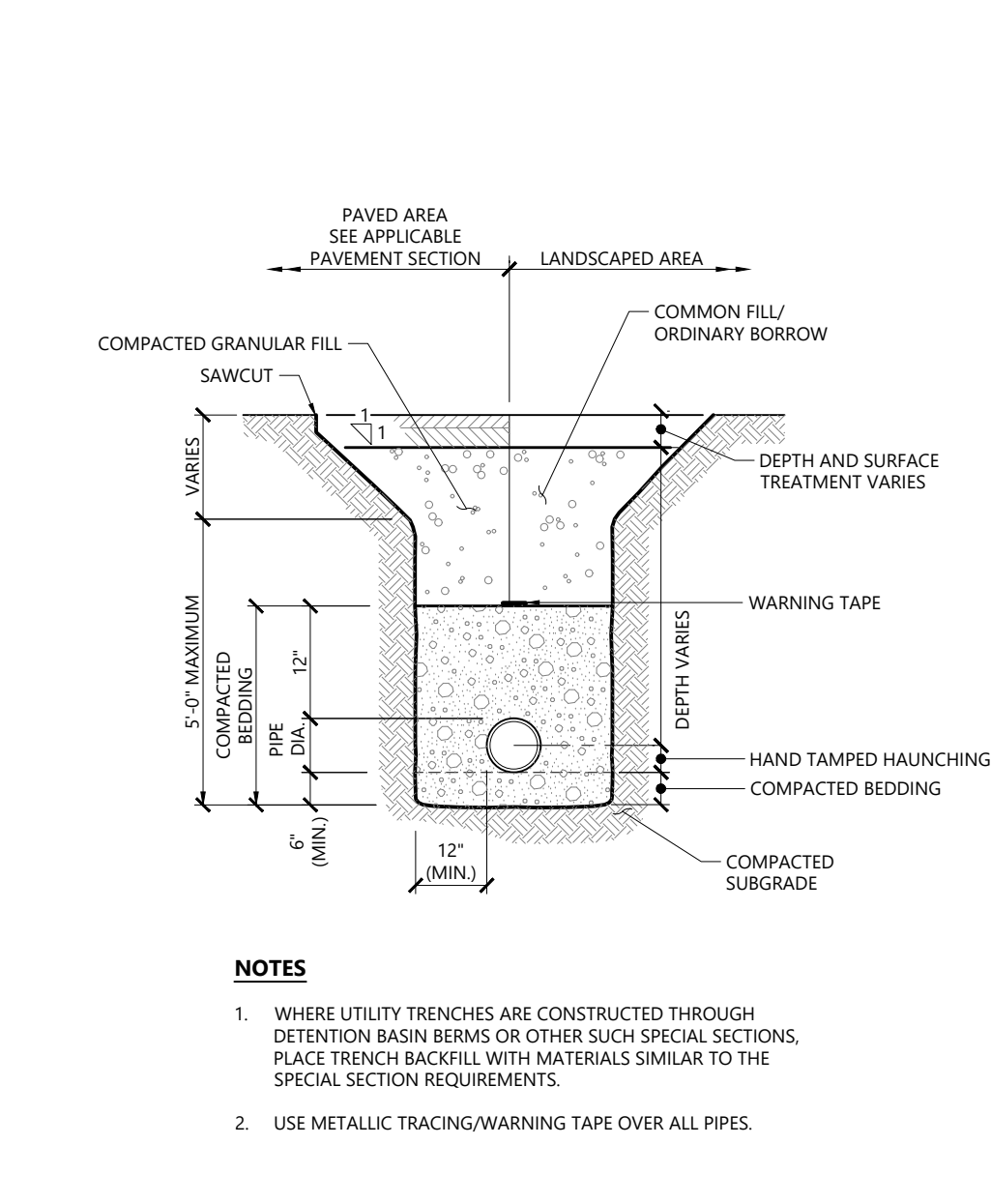
**Catch Basin (CB) With Oil/Debris Trap** 1/16  
N.T.S. Source: VHB LD\_101



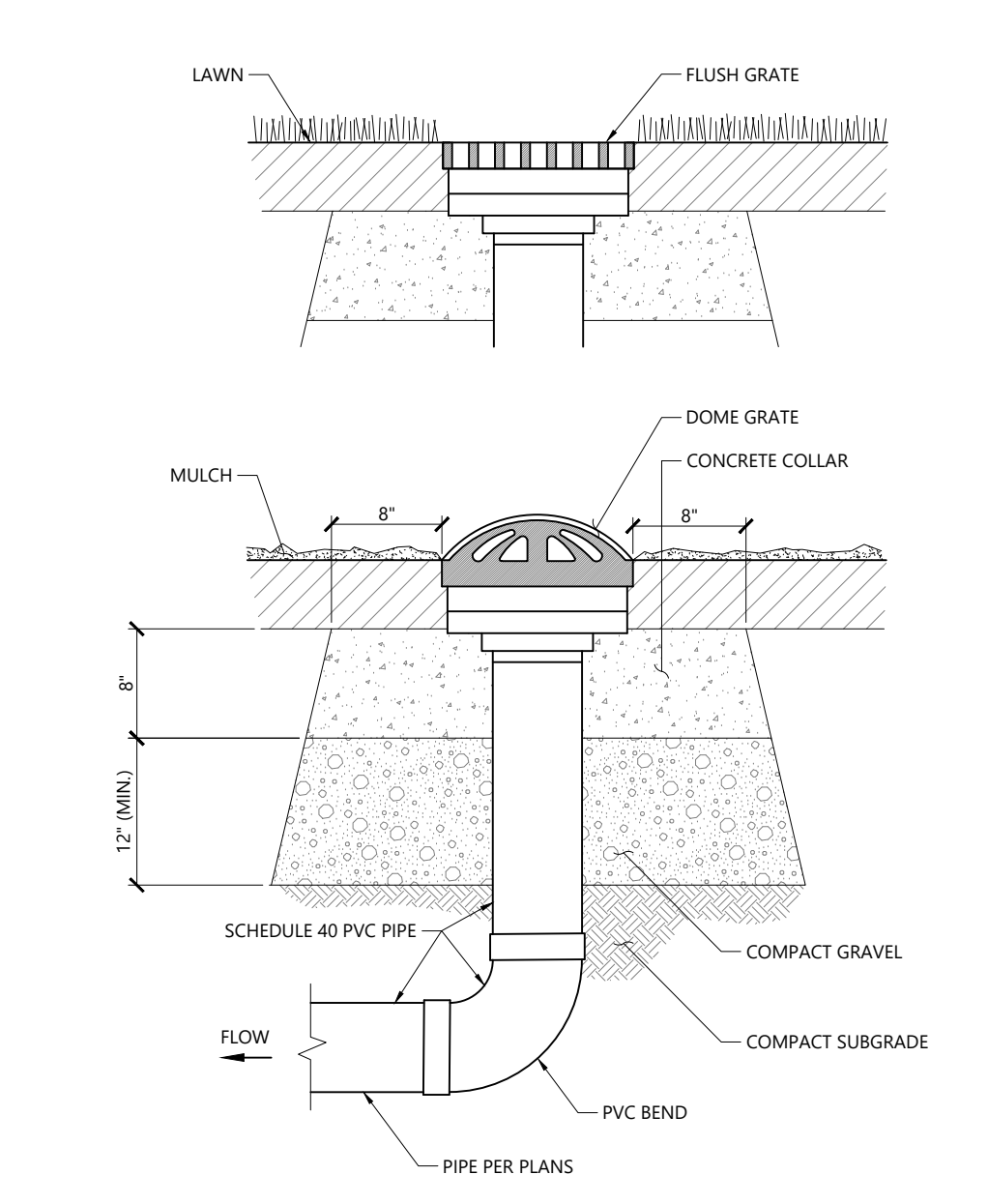
**Drain Manhole (DMH)** 1/16  
N.T.S. Source: VHB LD\_115



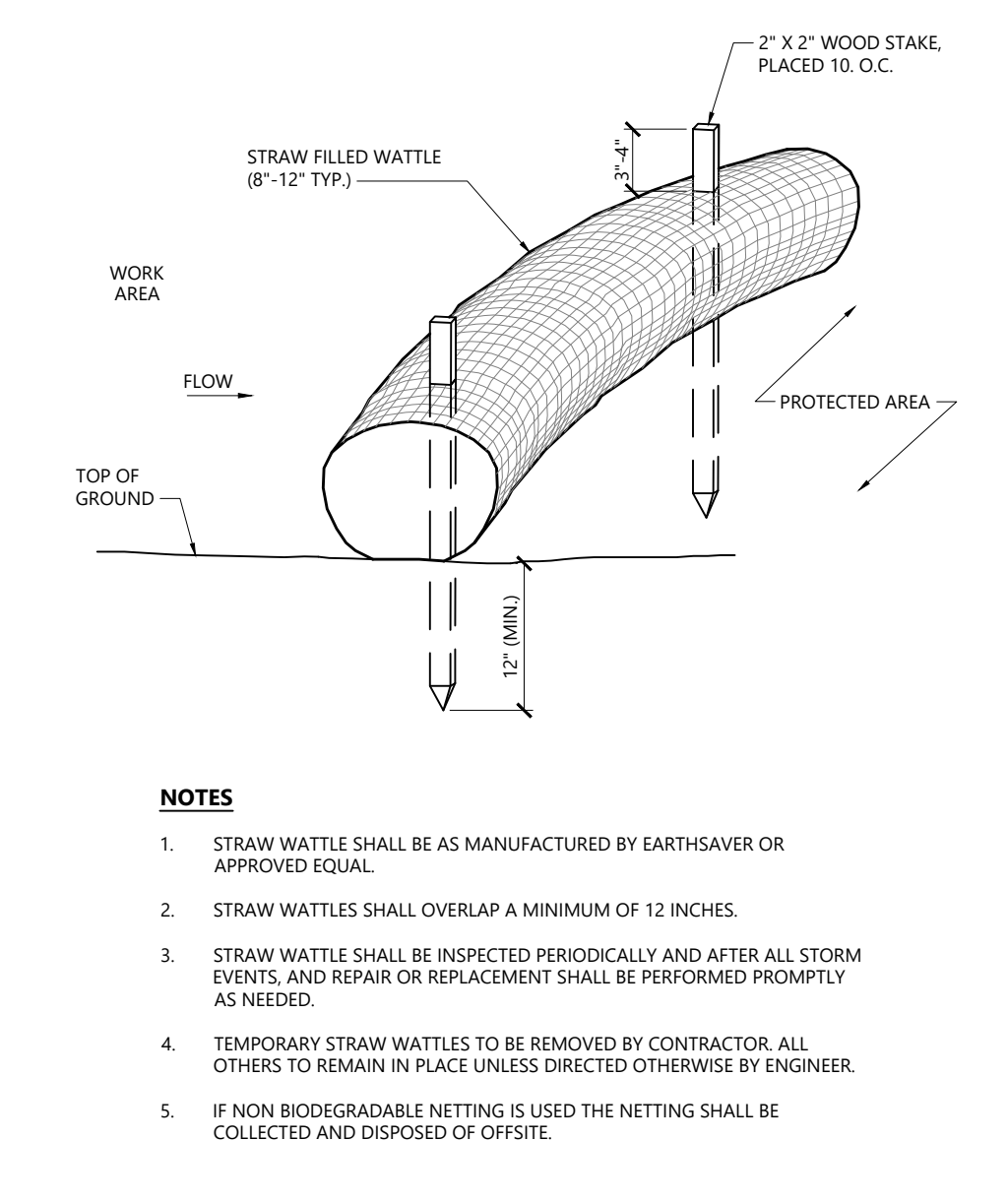
**Sanitary Sewer Manhole (SMH)** 1/16  
N.T.S. Source: VHB LD\_200



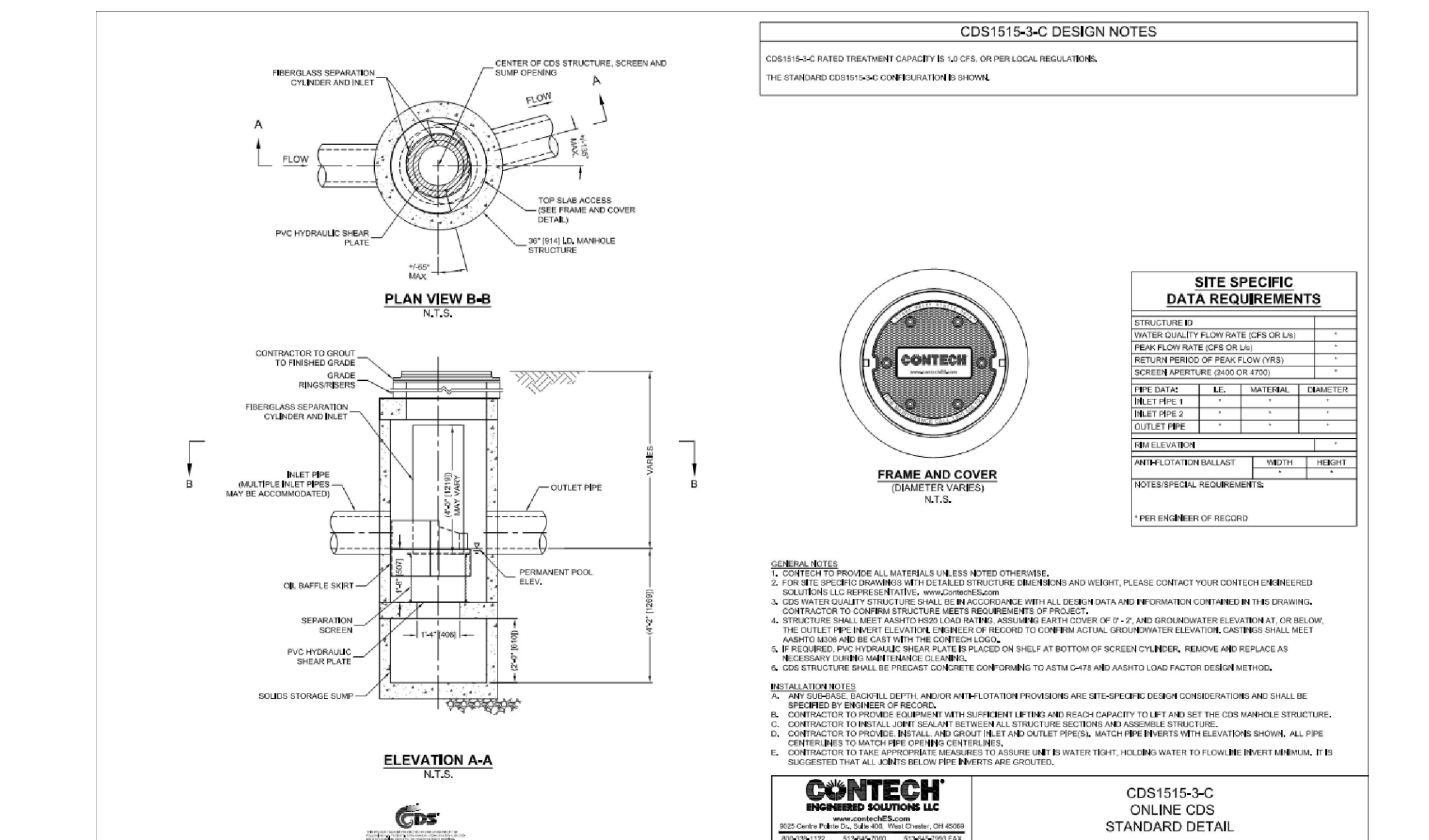
**Utility Trench** 1/16  
N.T.S. Source: VHB LD\_300



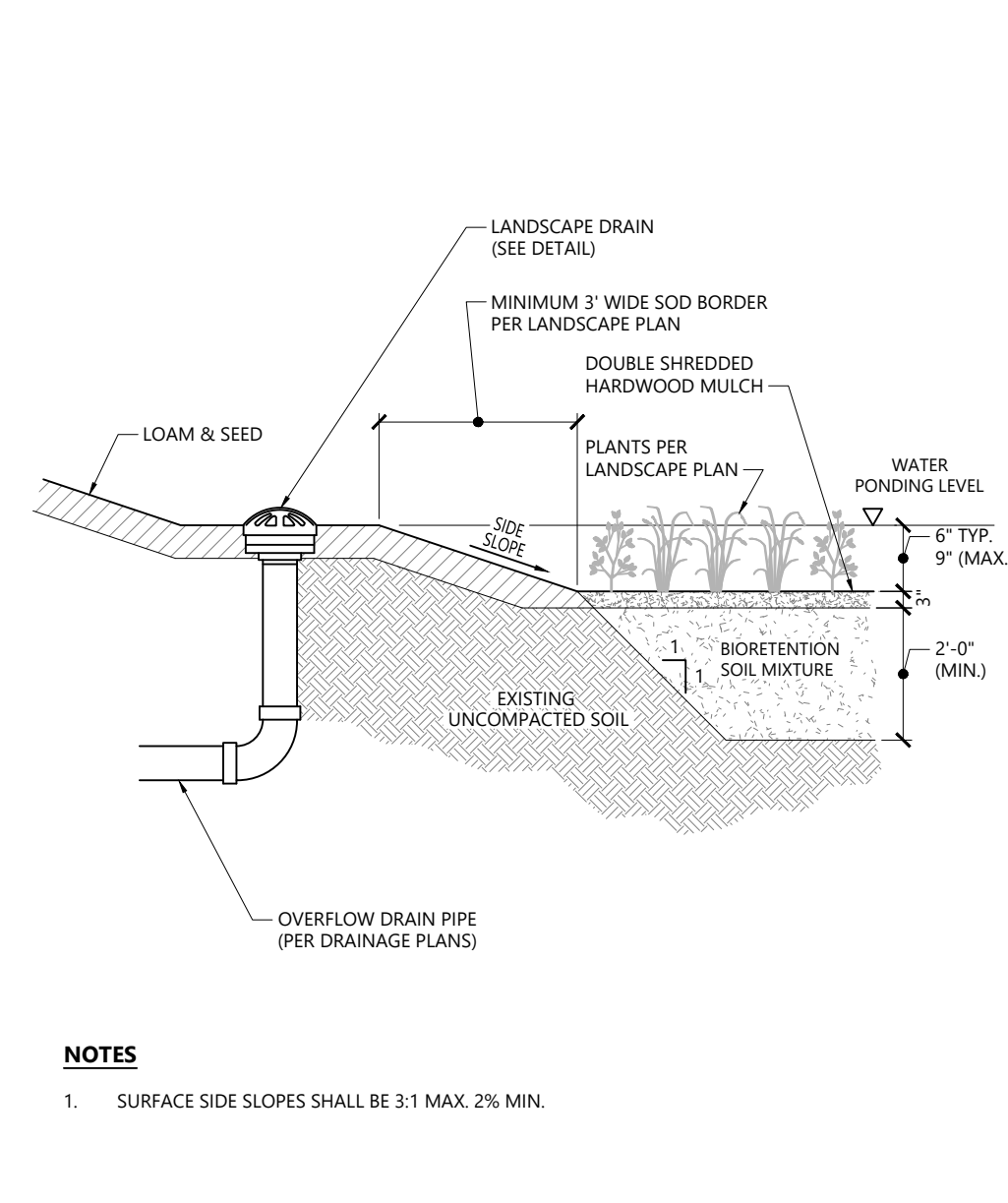
**Landscape Drain (LD)** 1/16  
N.T.S. Source: VHB LD\_393



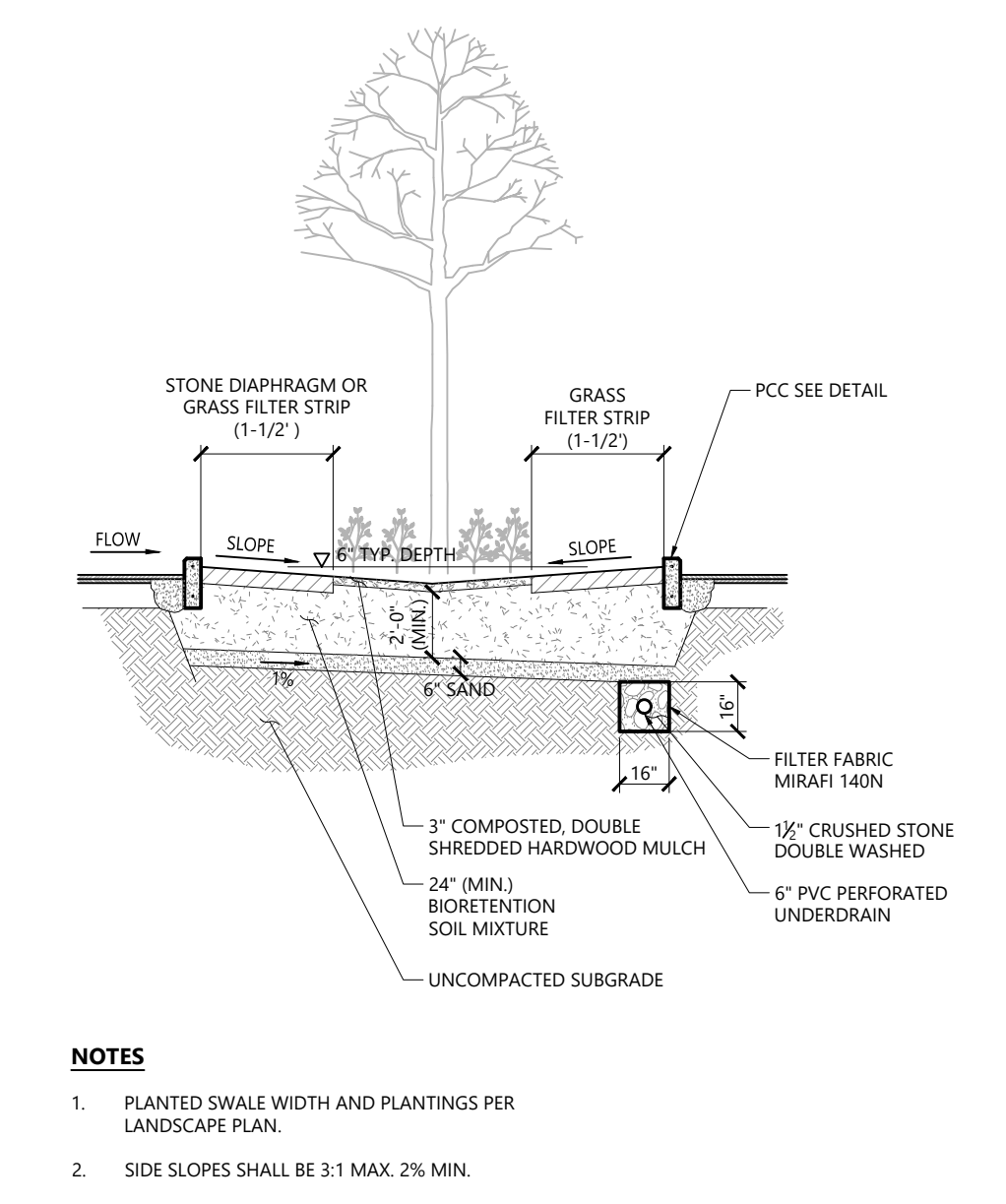
**Straw Wattle - Erosion Control Barrier** 1/16  
N.T.S. Source: VHB LD\_659



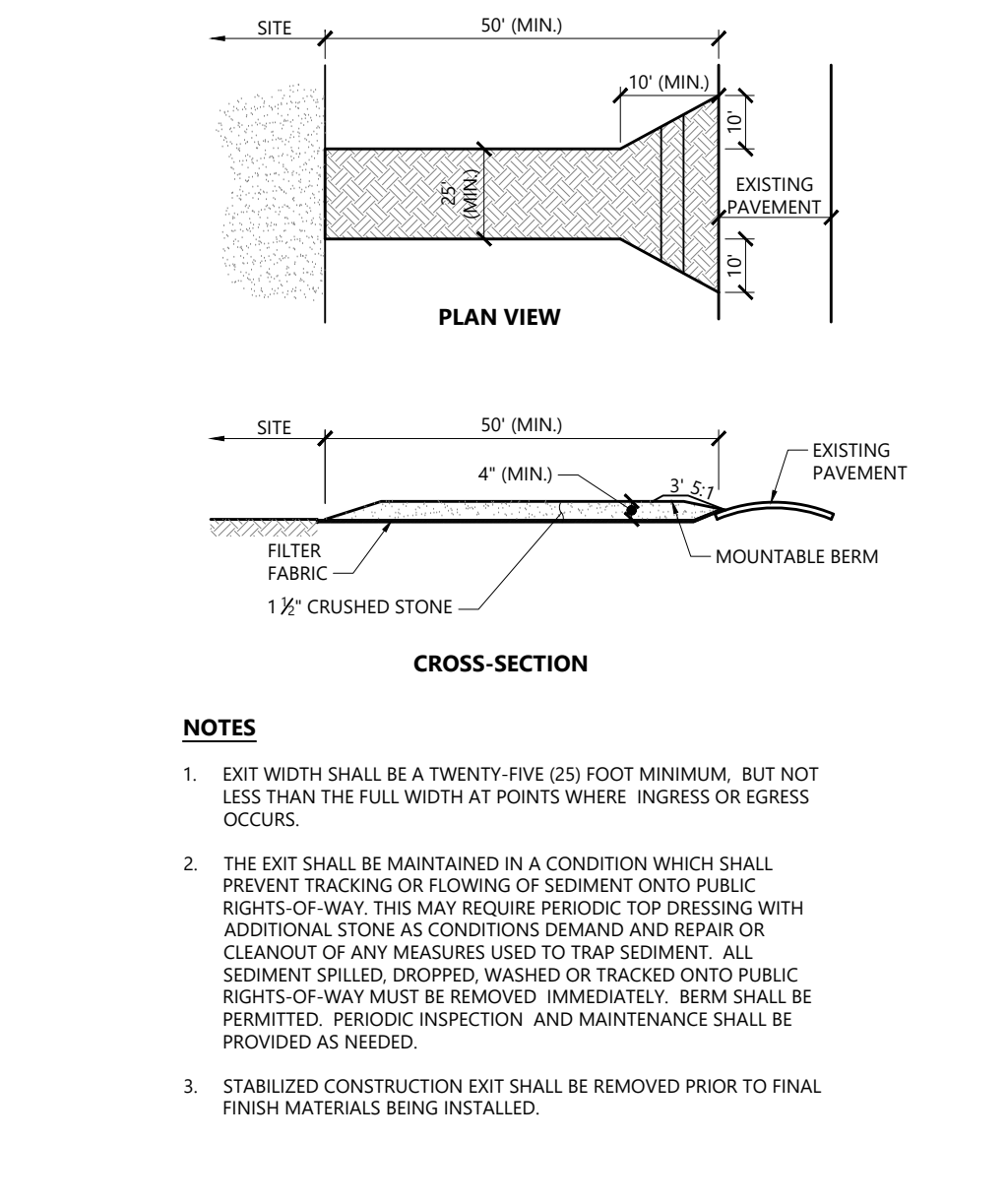
**Water Quality Unit (WQU 201)** 1/16  
N.T.S. Source: Contech LD\_659



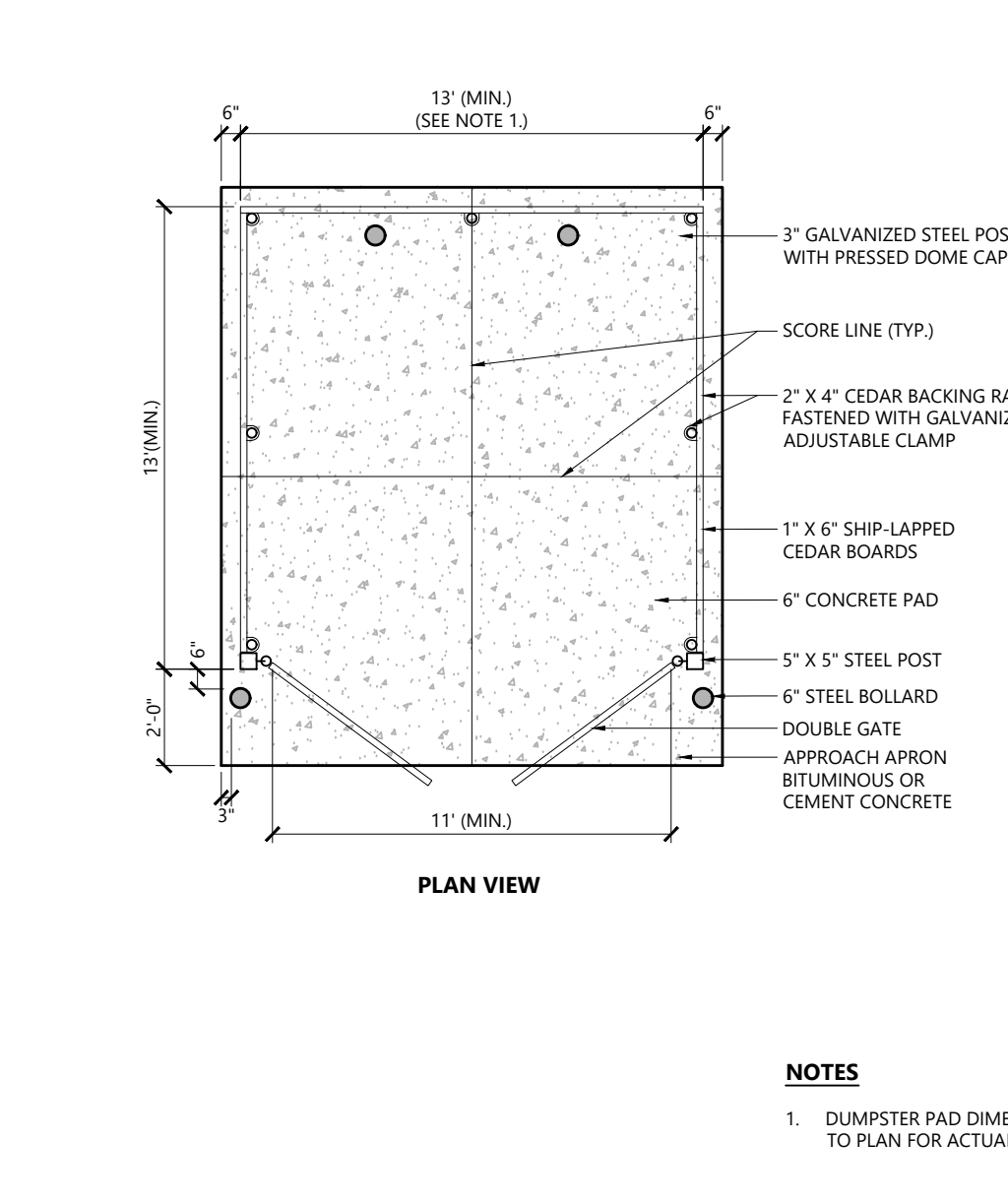
**Rain Garden** 1/16  
N.T.S. Source: VHB LD\_351



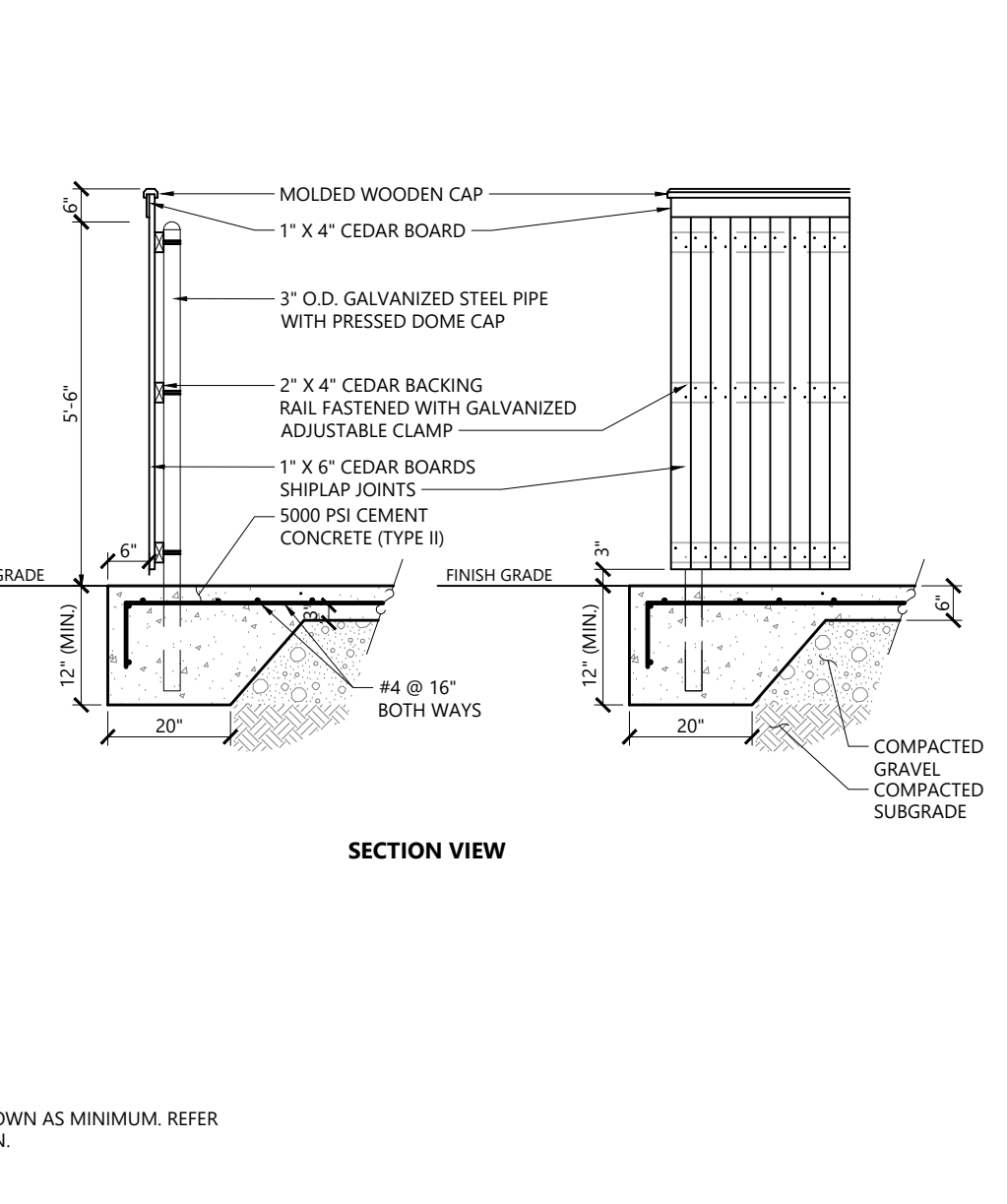
**Planted Biofiltration Island with Underdrain** 1/16  
N.T.S. Source: VHB LD\_357



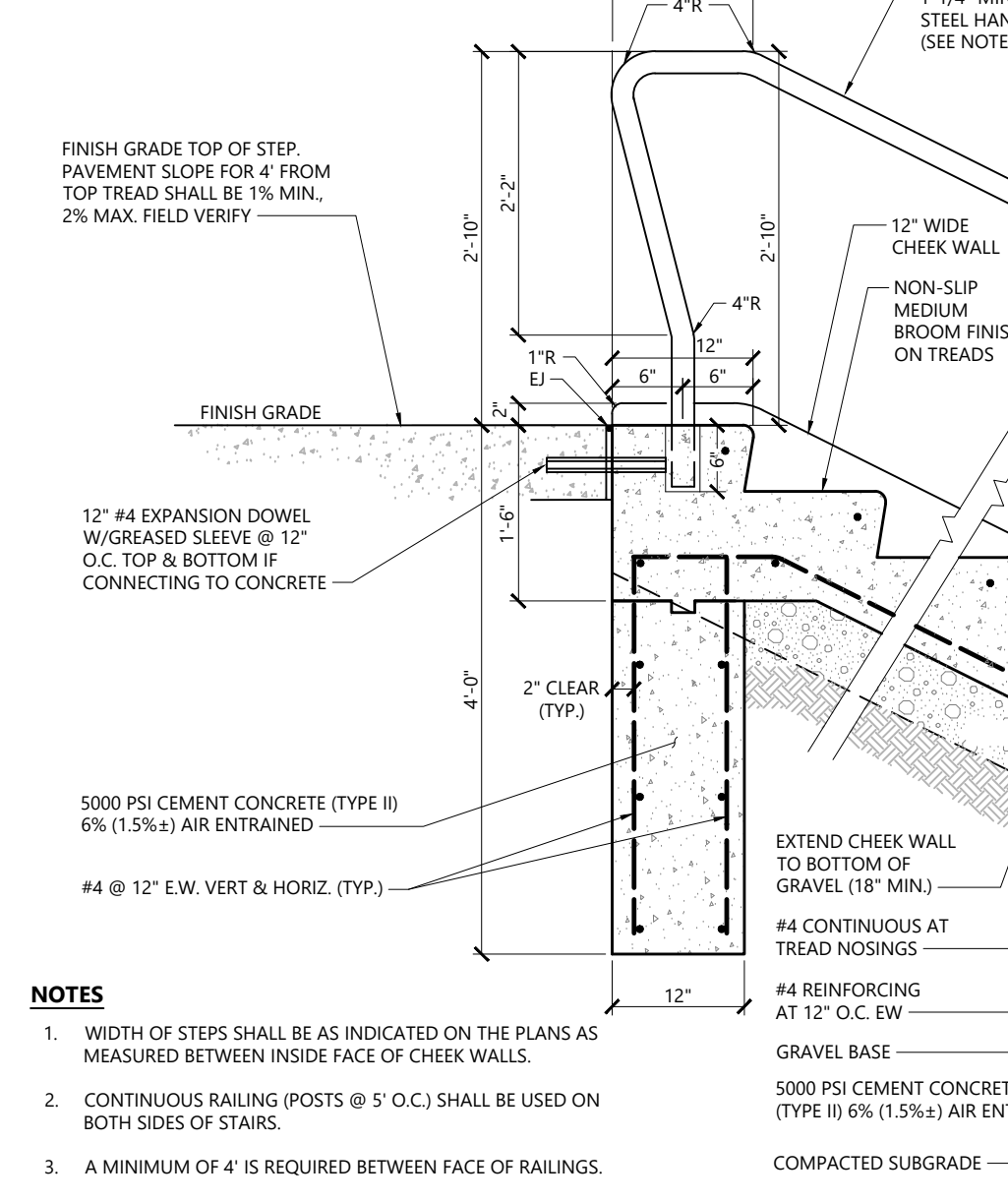
**Stabilized Construction Exit** 1/16  
N.T.S. Source: VHB LD\_682



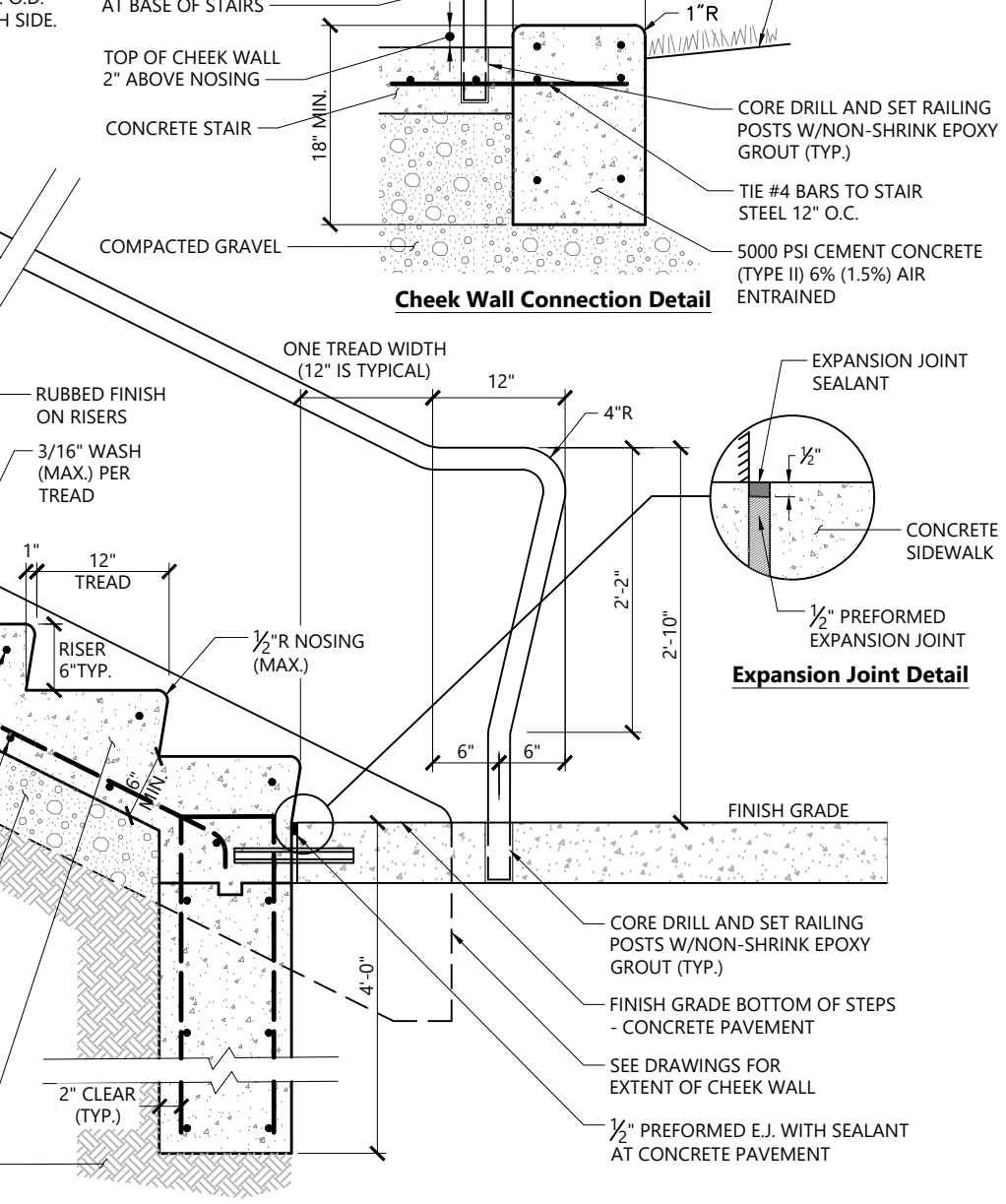
**Dumpster Pad w/ Enclosure** 1/16  
N.T.S. Source: VHB LD\_713



**Concrete Steps with Handrails** 4/16  
N.T.S. Source: VHB LD\_765\_MA



**Cheek Wall Connection Detail** 4/16  
N.T.S. Source: VHB LD\_765\_MA



**Expansion Joint Detail** 4/16  
N.T.S. Source: VHB LD\_765\_MA

APPROVED BY THE  
LUDLOW PLANNING BOARD

DATE: \_\_\_\_\_

**Mill #8 Adaptive Reuse**

100 State Street  
Ludlow, Massachusetts

No.	Revision	Date	Appr.

Designed by \_\_\_\_\_ Checked by \_\_\_\_\_

Issued for \_\_\_\_\_ Date \_\_\_\_\_

**Local Approvals** November 13, 2020

Not for Construction

**Site Details**

Drawing Title \_\_\_\_\_  
Drawing Number \_\_\_\_\_

COMMONWEALTH OF MASSACHUSETTS  
JUSTIN DUFRESNE  
CIVIL  
No. 51508  
REGISTERED  
PROFESSIONAL ENGINEER

**C5.02**

Sheet \_\_\_\_\_ of \_\_\_\_\_

6 8

Project Number  
15057.00



120 Front Street  
Suite 500  
Worcester, MA 01608  
508.752.1001

**Planting Notes**

- ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
- NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
- A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN LIST AND PLANT LABELS PRIOR TO BIDDING.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

**Plant Maintenance Notes**

- CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
- WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
- WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
- CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.

**PLANT SCHEDULE**

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
ARB	8	Acer rubrum 'Bowhall'	Bowhall Red Maple	2 1/2 - 3" CAL
ARK	23	Acer rubrum 'Karpick'	Karpick Red Maple	2 1/2 - 3" CAL
ARO	11	Acer rubrum 'October Glory'	October Glory Maple	2 1/2 - 3" CAL
CB	15	Carpinus betulus 'Fastigiata'	Pyramidal European Hornbeam	2 1/2 - 3" CAL
NS	2	Nyssa sylvatica	Black Tupelo	2 1/2 - 3" CAL
QP	2	Quercus palustris	Pin Oak	2 1/2 - 3" CAL
TC2	4	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	2 1/2 - 3" CAL
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
AC	5	Abies concolor	White Fir	6 - 7' HT.
PA	9	Picea abies	Norway Spruce	6 - 7' HT.
FLOWERING TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
AC2	7	Amelanchier canadensis	Shadblow Serviceberry - multi-stem	8 - 10' HT.
CK	4	Cornus kousa	Kousa Dogwood	10 - 12' HT.

SHRUBS, AND ORNAMENTAL GRASSES SHALL BE A SELECTION OF:

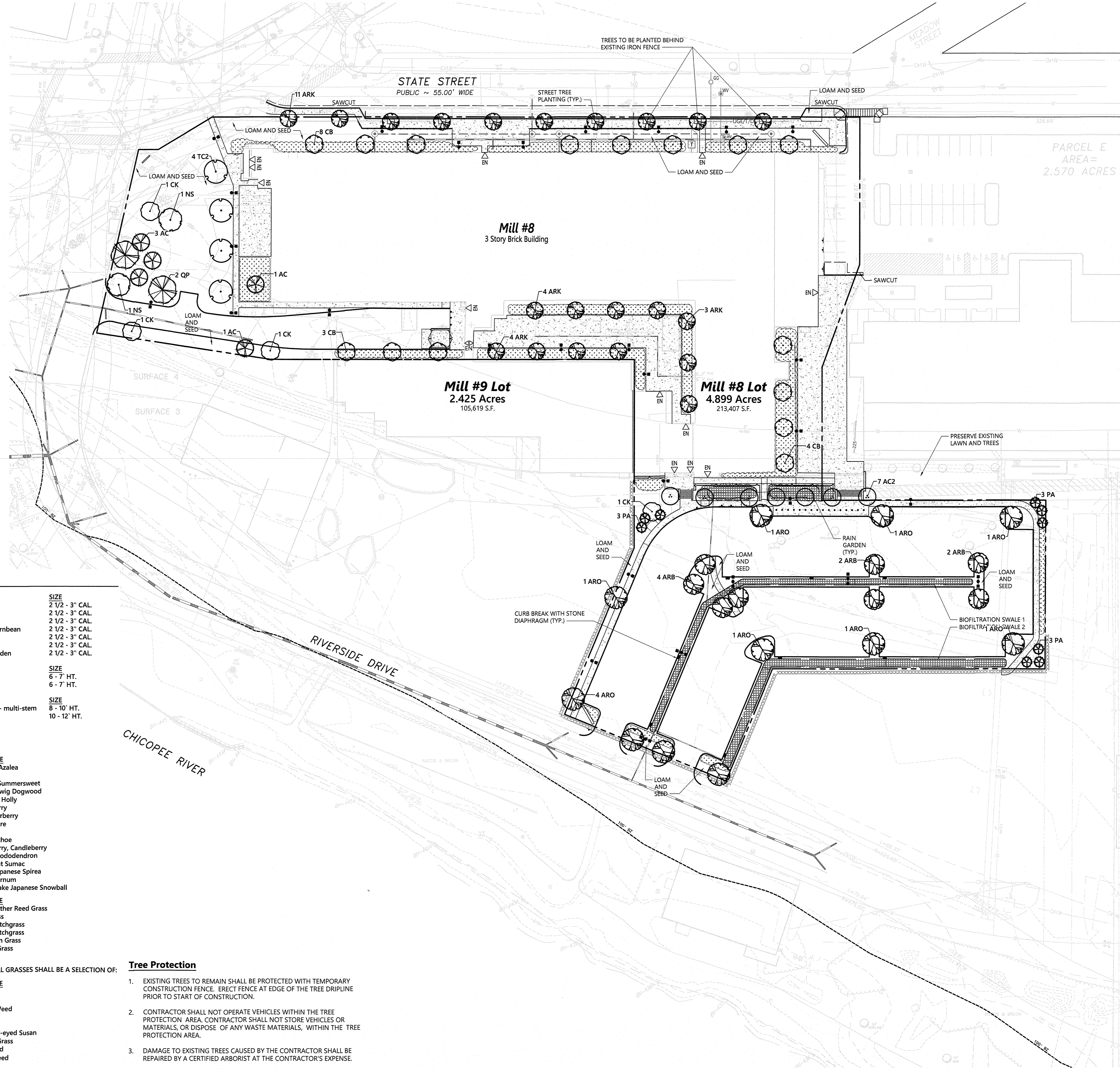
SHRUBS	COMMON NAME
Azalea x Renee Michelle	Renee Michelle Azalea
Azalea viscosum	Swamp Azalea
Clethra alnifolia 'Hummingbird'	'Hummingbird' Summersweet
Cornus stolonifera 'Elegantissima'	Variiegated Redtwig Dogwood
Ilex crenata 'Steed's'	Steed's Japanese Holly
Ilex glabra 'Shamrock'	Shamrock Inkberry
Ilex verticillata 'Red Sprite'	Red Sprite Winterberry
Itea virginica 'Little Henry' TM	Virginia Sweetspire
Kalmia latifolia	Mountain Laurel
Leucothoe fontanesiana	Drooping Leucothoe
Myrica pensylvanica	Northern Bayberry, Candleberry
Rhododendron x 'PJM Compact Form'	PJM Compact Rhododendron
Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac
Spiraea japonica 'Little Princess'	Little Princess Japanese Spirea
Viburnum dentatum 'Arrowwood'	Arrowwood Viburnum
Viburnum plicatum tomentosum 'Summer Snowflake'	Summer Snowflake Japanese Snowball
ORNAMENTAL GRASSES	COMMON NAME
Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass
Miscanthus sinensis	Maiden hair Grass
Panicum virgatum 'Heavy Metal'	Heavy Metal Switchgrass
Panicum virgatum 'Shenendoah'	Shenendoah Switchgrass
Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass
Schizachyrium scoparium	Little Bluestem Grass
Sporobolus heterolepis	Prarie Dropseed

BIORETENTION SWALES AND RAINGARDEN SHRUBS, AND ORNAMENTAL GRASSES SHALL BE A SELECTION OF:

BIORETENTION BASIN	COMMON NAME
Andropogon virginicus	Broomsedge
Carex stricta	Tussock Sedge
Eupatorium purpureum 'Little Joe'	Dwarf Joe-Pye Weed
Iris versicolor	Blue Flag
Panicum virgatum	Switch Grass
Rudbeckia fulgida 'Goldsturm'	Goldsturm Black-eyed Susan
Schizachyrium scoparium	Little Bluestem Grass
Solidago speciosa	Showy Goldenrod
Veronica noveboracensis	New York Ironweed

**Tree Protection**

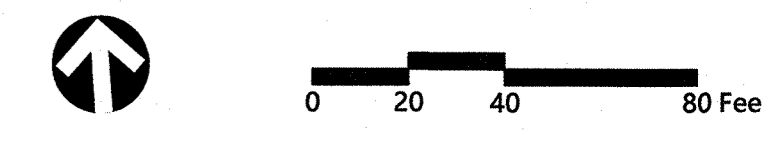
- EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT FENCE AT EDGE OF THE TREE DRIPLINE PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.
- DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.



PARCEL E AREA= 2.570 ACRES

APPROVED BY THE LUDLOW PLANNING BOARD

DATE: \_\_\_\_\_



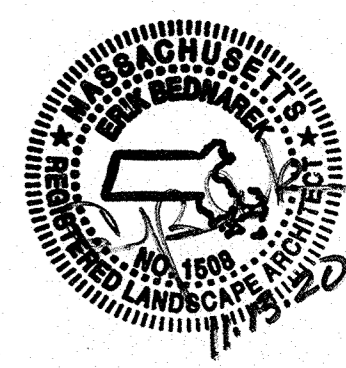
**Mill #8 Adaptive Reuse**

100 State Street  
Ludlow, Massachusetts

No.	Revision	Date	Appr.

Designed by \_\_\_\_\_ Checked by \_\_\_\_\_  
Issued for \_\_\_\_\_ Date \_\_\_\_\_  
**Local Approvals** November 13, 2020

Not for Construction  
Drawing Title  
**Planting Plan**  
Drawing Number

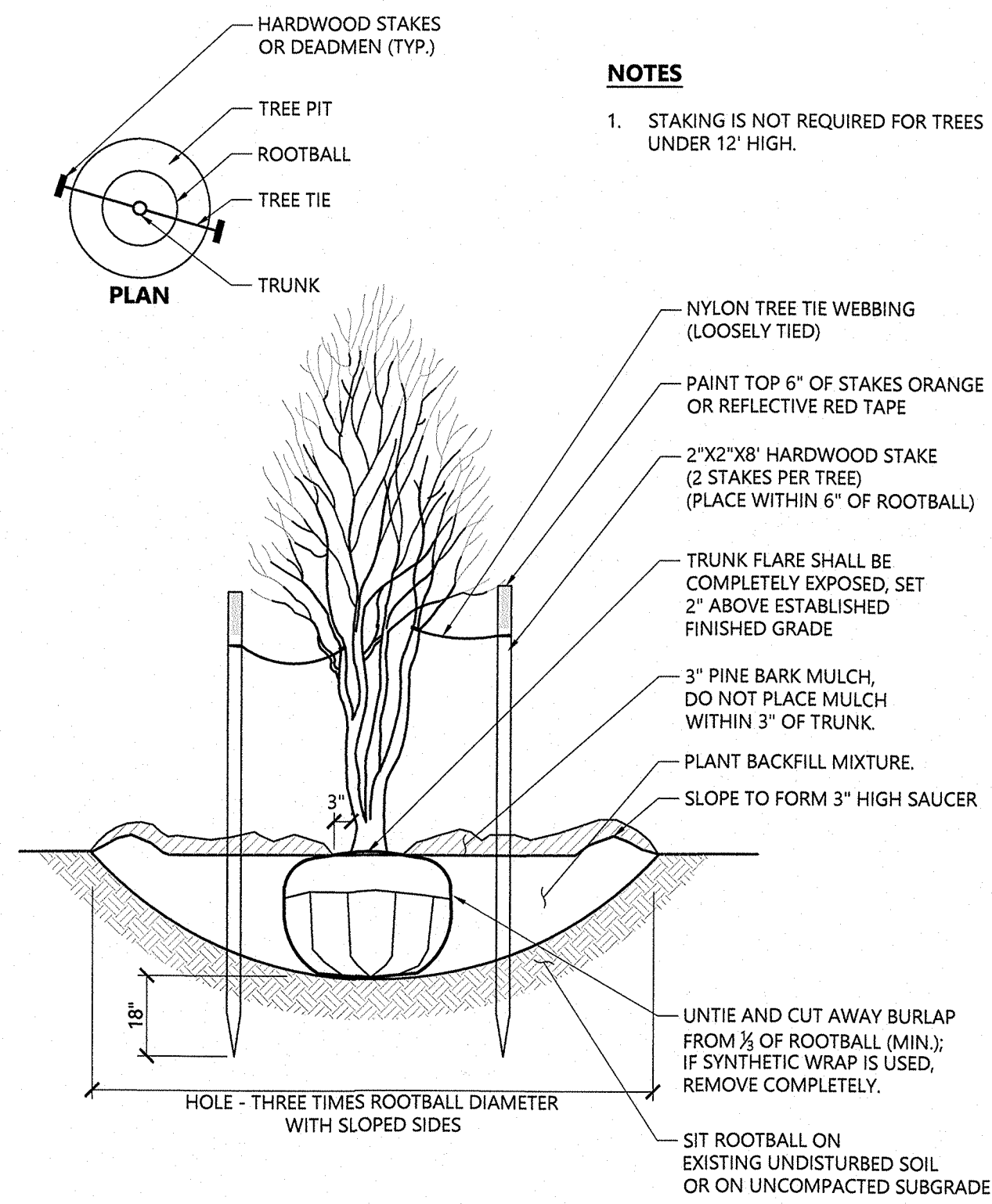


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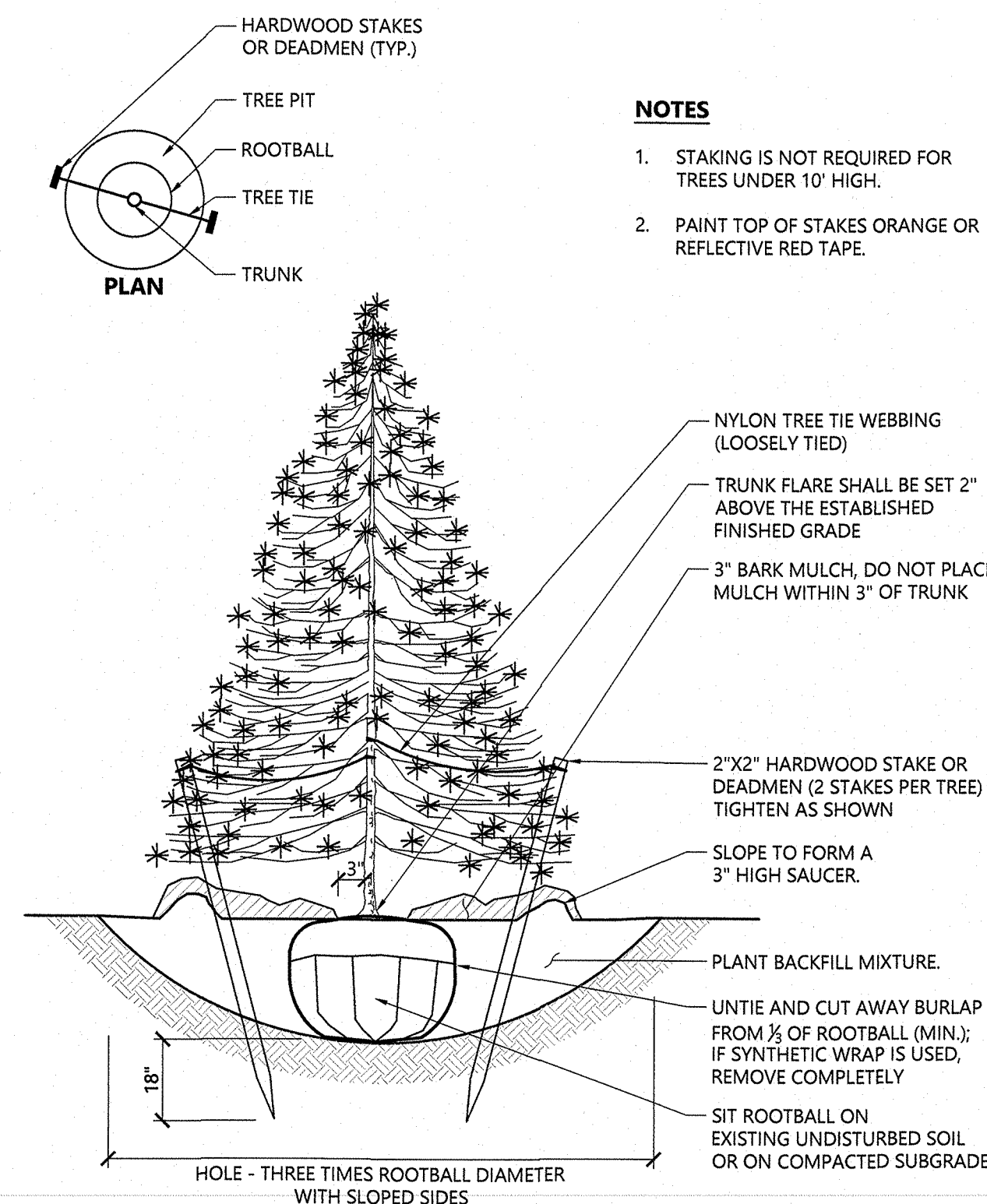
Sheet 7 of 8

Project Number  
15057.00

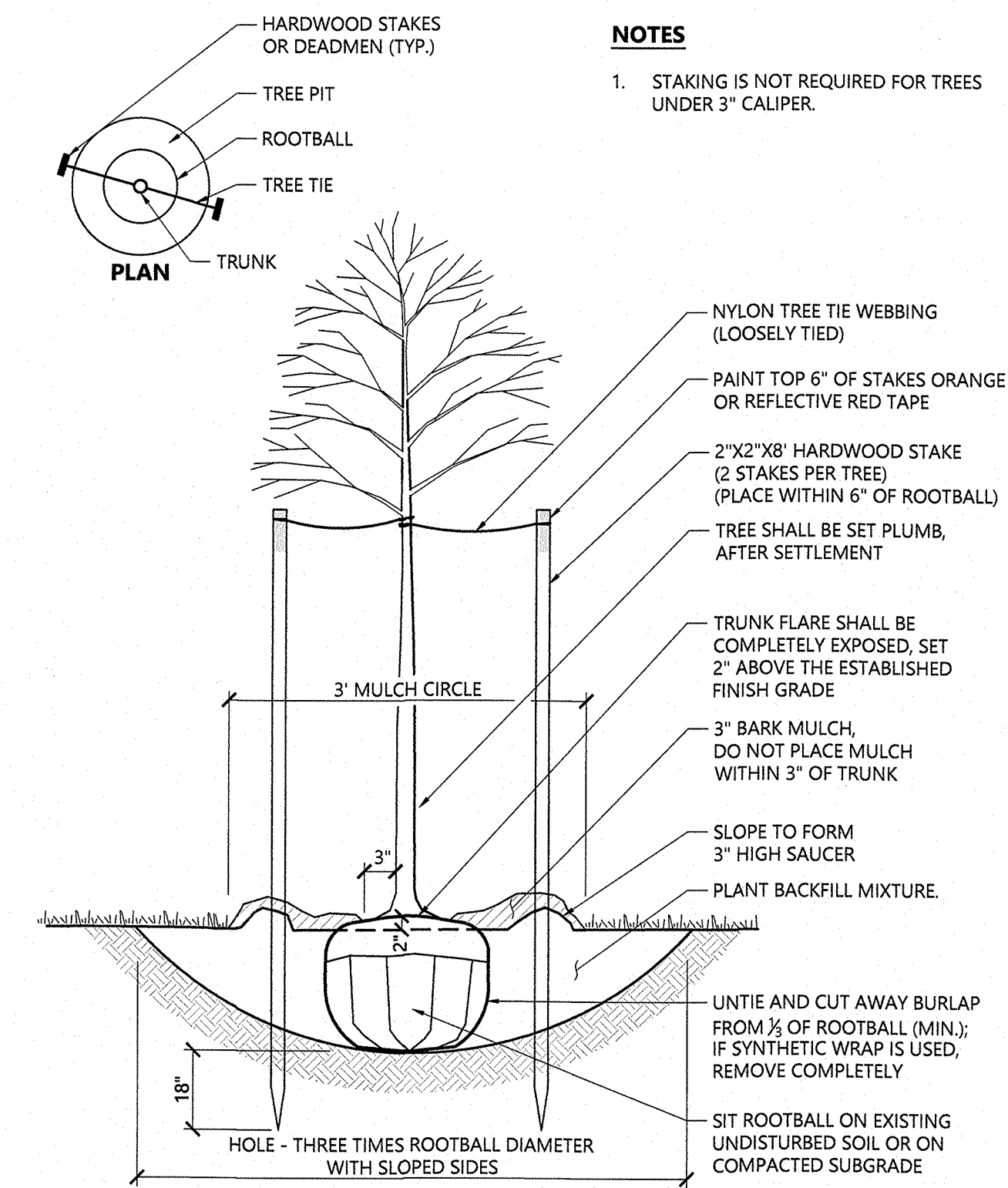




**Multistem Tree Planting** 1/16  
N.T.S. Source: VHB LD\_606



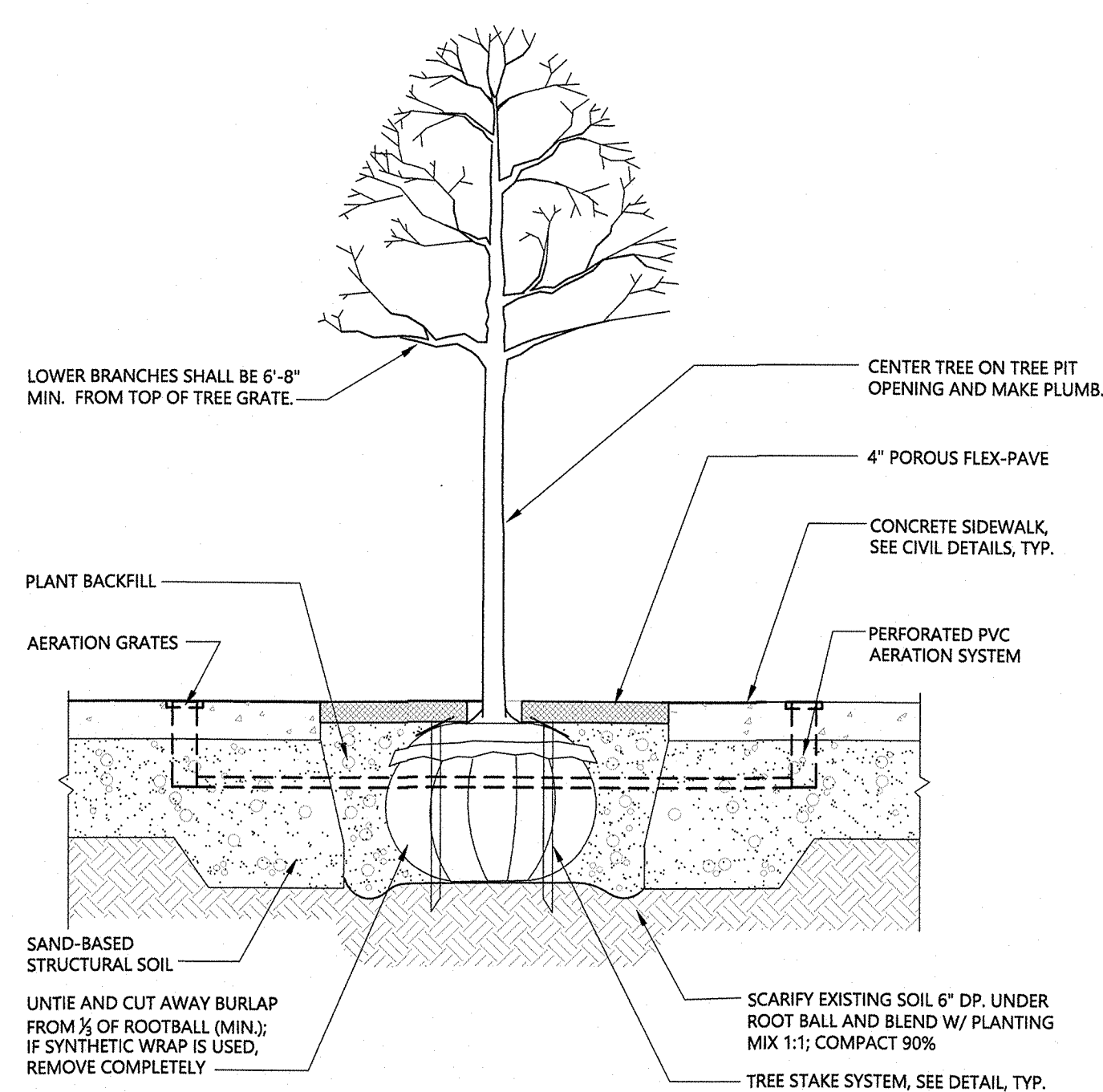
**Evergreen Tree Planting** 1/16  
N.T.S. Source: VHB LD\_604



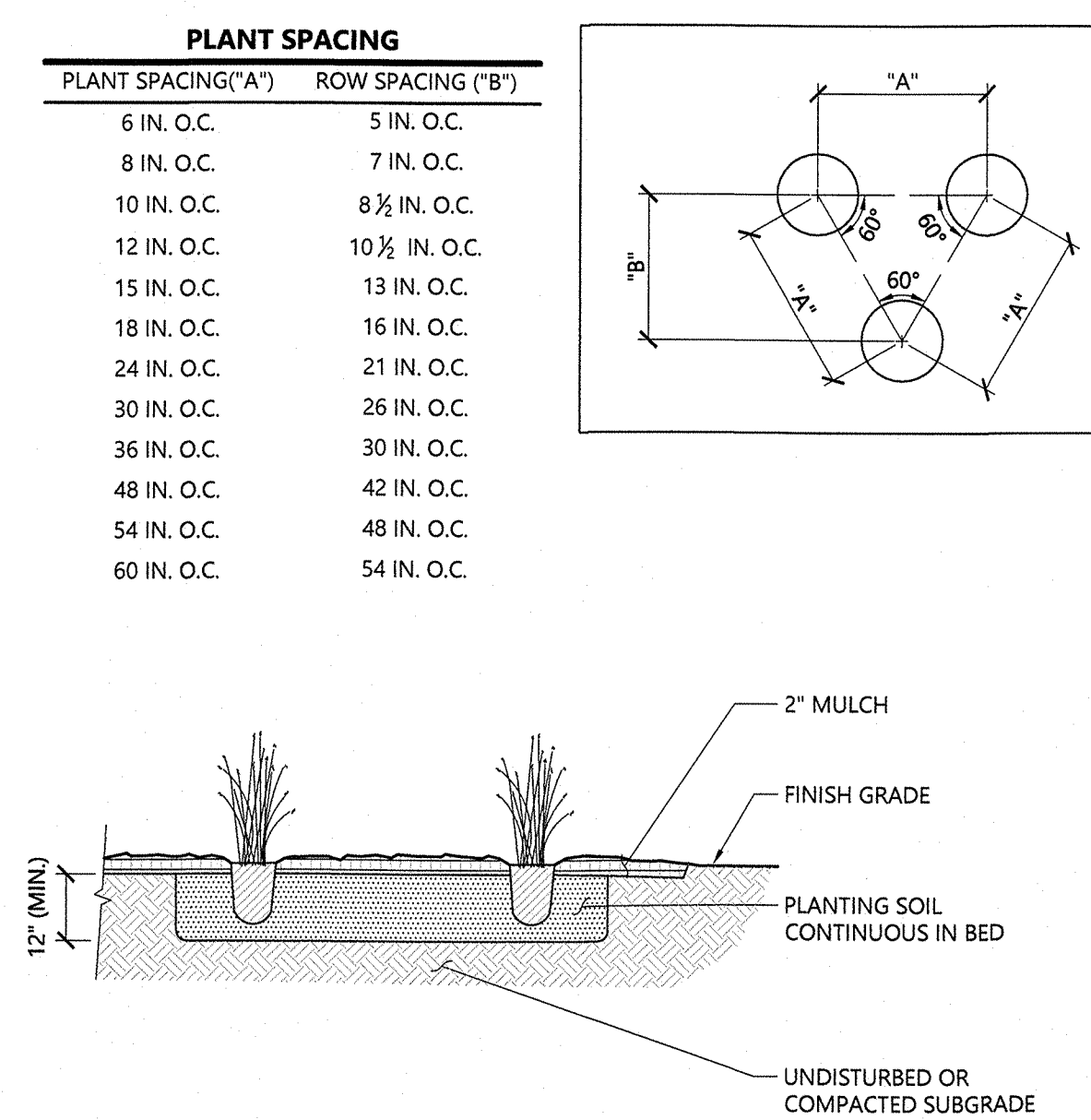
**Tree Planting (For Trees Under 4" Caliper)** 9/18  
N.T.S. Source: VHB LD\_602

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LUDLOW PLANNING BOARD

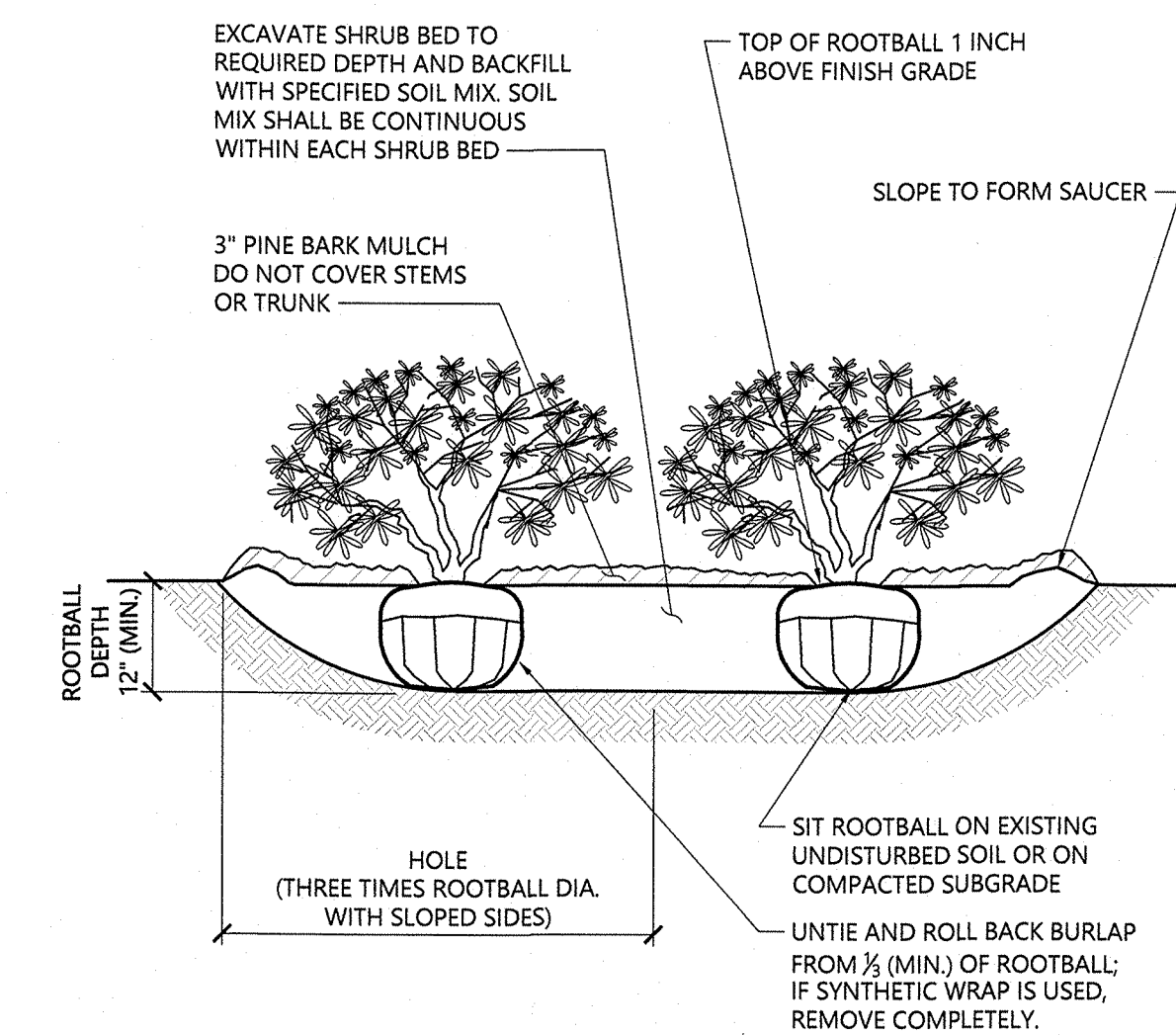
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\_\_\_\_\_  
DATE: \_\_\_\_\_



**Street Tree Planting** 11/20  
N.T.S. Source: VHB



**Perennial and Ornamental Grass Planting** 1/16  
N.T.S. Source: VHB LD\_618



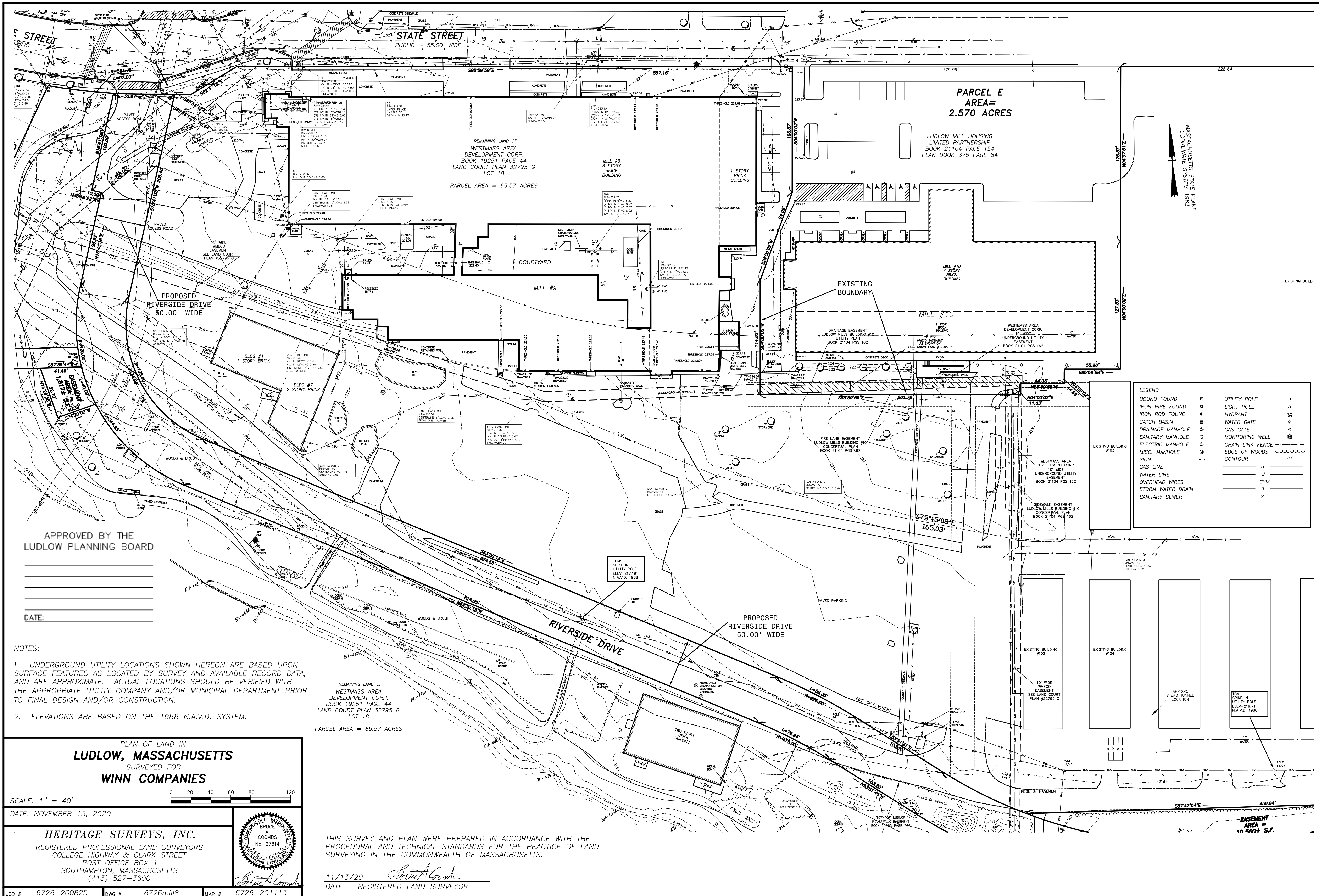
**Shrub Bed Planting** 1/16  
N.T.S. Source: VHB LD\_601

**Mill #8 Adaptive Reuse**  
100 State Street  
Ludlow, Massachusetts

Designed by \_\_\_\_\_ Checked by \_\_\_\_\_  
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Local Approvals November 13, 2020

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Drawing Title  
**Planting Details**

Project Number  
**L2.01**  
Sheet 8 of 8  
Project Number  
15057.00



**LEGEND**

BOUND PIPE FOUND	UTILITY POLE
IRON PIPE FOUND	LIGHT POLE
IRON ROD FOUND	HYDRANT
CATCH BASIN	WATER GATE
DRAINAGE MANHOLE	GAS GATE
SANITARY MANHOLE	MONITORING WELL
ELECTRIC MANHOLE	CHAIN LINK FENCE
MISC. MANHOLE	EDGE OF WOODS
SIGN	CONTOUR
GAS LINE	
WATER LINE	
OVERHEAD WIRES	
STORM WATER DRAIN	
SANITARY SEWER	

APPROVED BY THE  
LUDLOW PLANNING BOARD

DATE: \_\_\_\_\_

- NOTES:**
1. UNDERGROUND UTILITY LOCATIONS SHOWN HEREON ARE BASED UPON SURFACE FEATURES AS LOCATED BY SURVEY AND AVAILABLE RECORD DATA, AND ARE APPROXIMATE. ACTUAL LOCATIONS SHOULD BE VERIFIED WITH THE APPROPRIATE UTILITY COMPANY AND/OR MUNICIPAL DEPARTMENT PRIOR TO FINAL DESIGN AND/OR CONSTRUCTION.
  2. ELEVATIONS ARE BASED ON THE 1988 N.A.V.D. SYSTEM.

REMAINING LAND OF  
WESTMASS AREA  
DEVELOPMENT CORP.  
BOOK 19251 PAGE 44  
LAND COURT PLAN 32795 G  
LOT 18  
PARCEL AREA = 65.57 ACRES

PLAN OF LAND IN  
**LUDLOW, MASSACHUSETTS**  
SURVEYED FOR  
**WINN COMPANIES**

SCALE: 1" = 40'

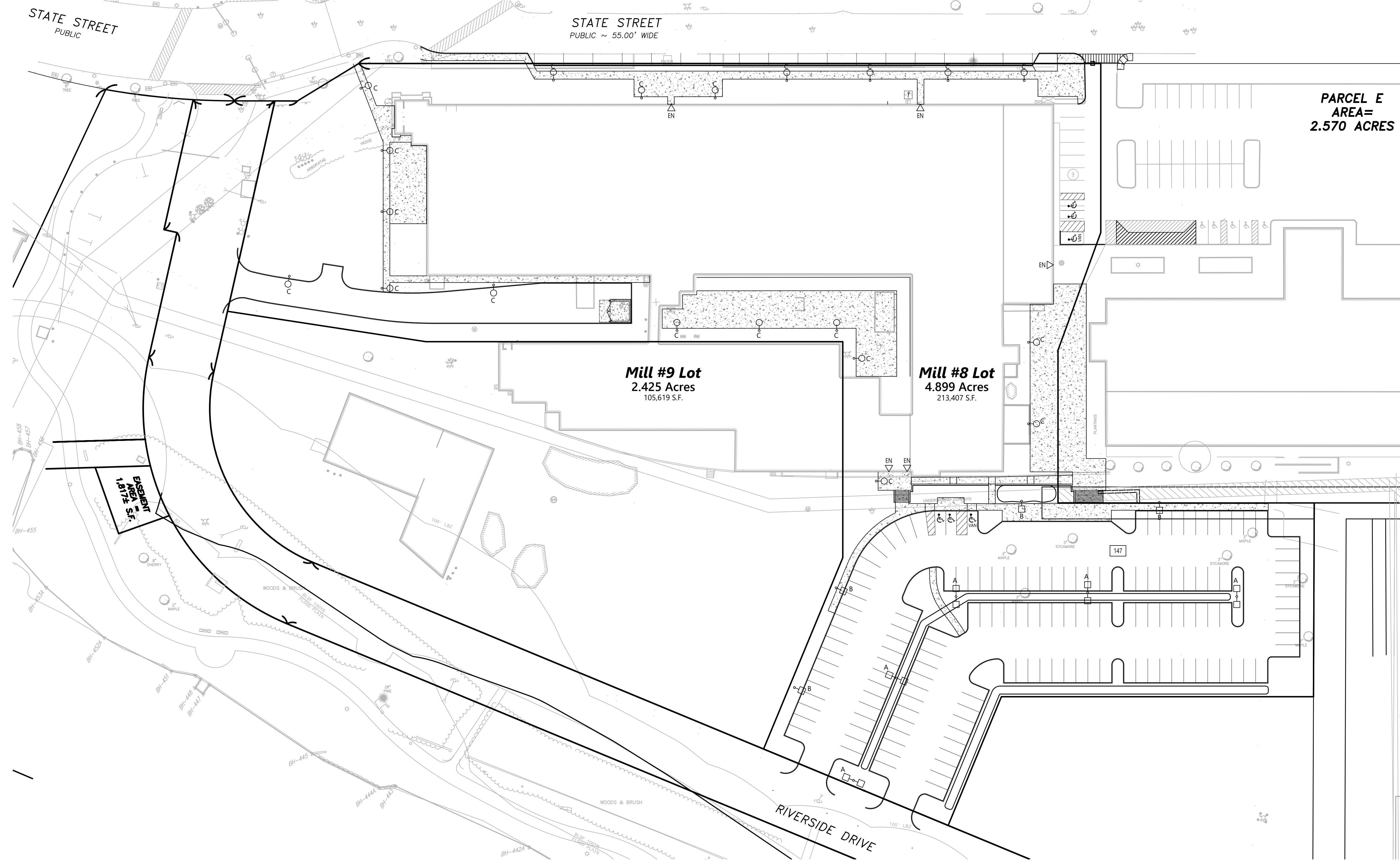
DATE: NOVEMBER 13, 2020

**HERITAGE SURVEYS, INC.**  
REGISTERED PROFESSIONAL LAND SURVEYORS  
COLLEGE HIGHWAY & CLARK STREET  
POST OFFICE BOX 1  
SOUTHAMPTON, MASSACHUSETTS  
(413) 527-3600

**BRUCE A. COOMBS**  
No. 27814  
REGISTERED LAND SURVEYOR

THIS SURVEY AND PLAN WERE PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

11/13/20  
DATE REGISTERED LAND SURVEYOR



PARCEL E  
AREA=  
2.570 ACRES

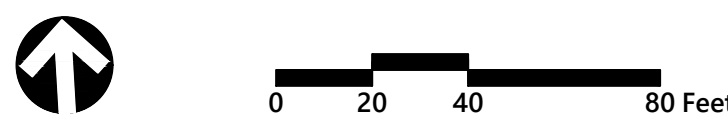
**vhb**  
120 Front Street  
Suite 500  
Worcester, MA 01608  
508.752.1001

**EA** ENGINEERING ADVANTAGE, INC.  
880 MAIN STREET 5TH FLOOR  
WALTHAM, MASSACHUSETTS 02451  
PHONE: (617) 288-3969



APPROVED BY THE  
LUDLOW PLANNING BOARD

DATE: \_\_\_\_\_



**Mill #8 Adaptive Reuse**  
100 State Street  
Ludlow, Massachusetts

No.	Revision	Date	Appr.

Designed by **LAF** Checked by **LAF**

Local Approvals November 12, 2020

Not for Construction  
**Site Lighting Plan**

Drawing Number

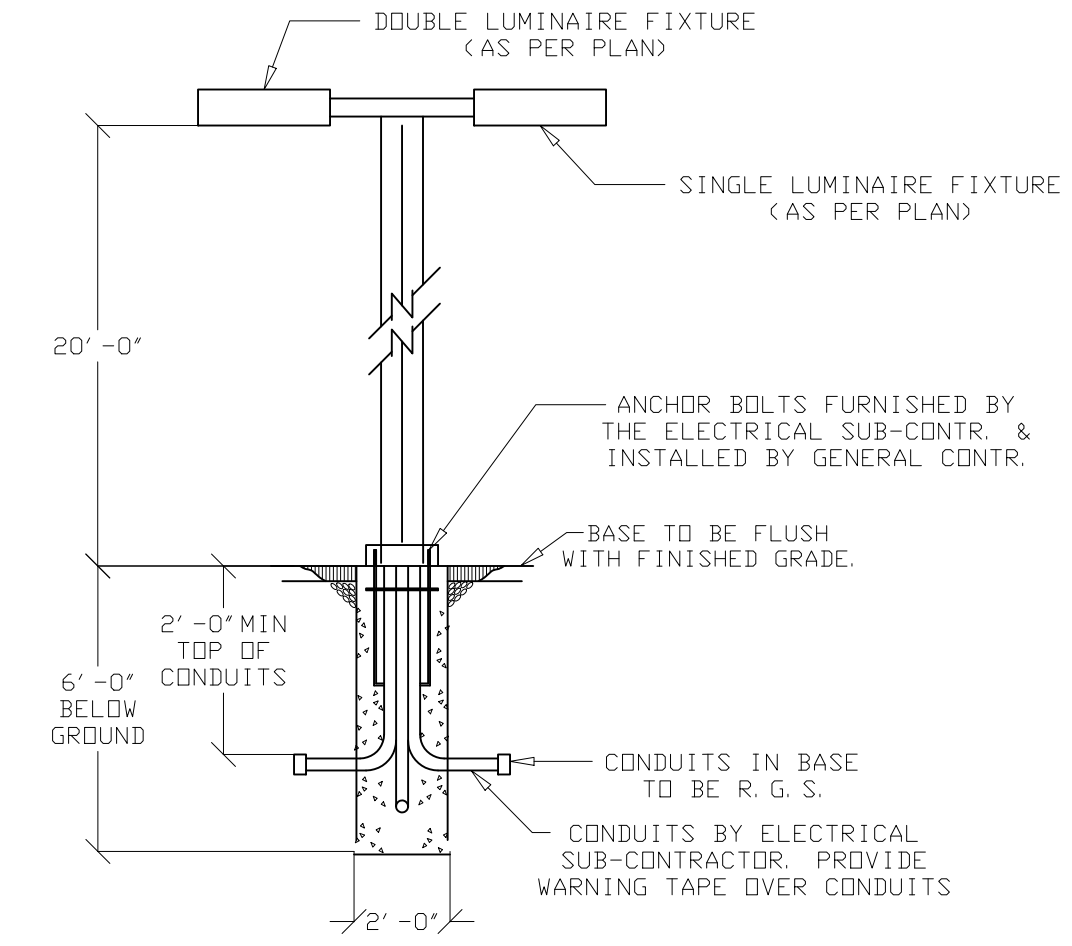
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Sheet of

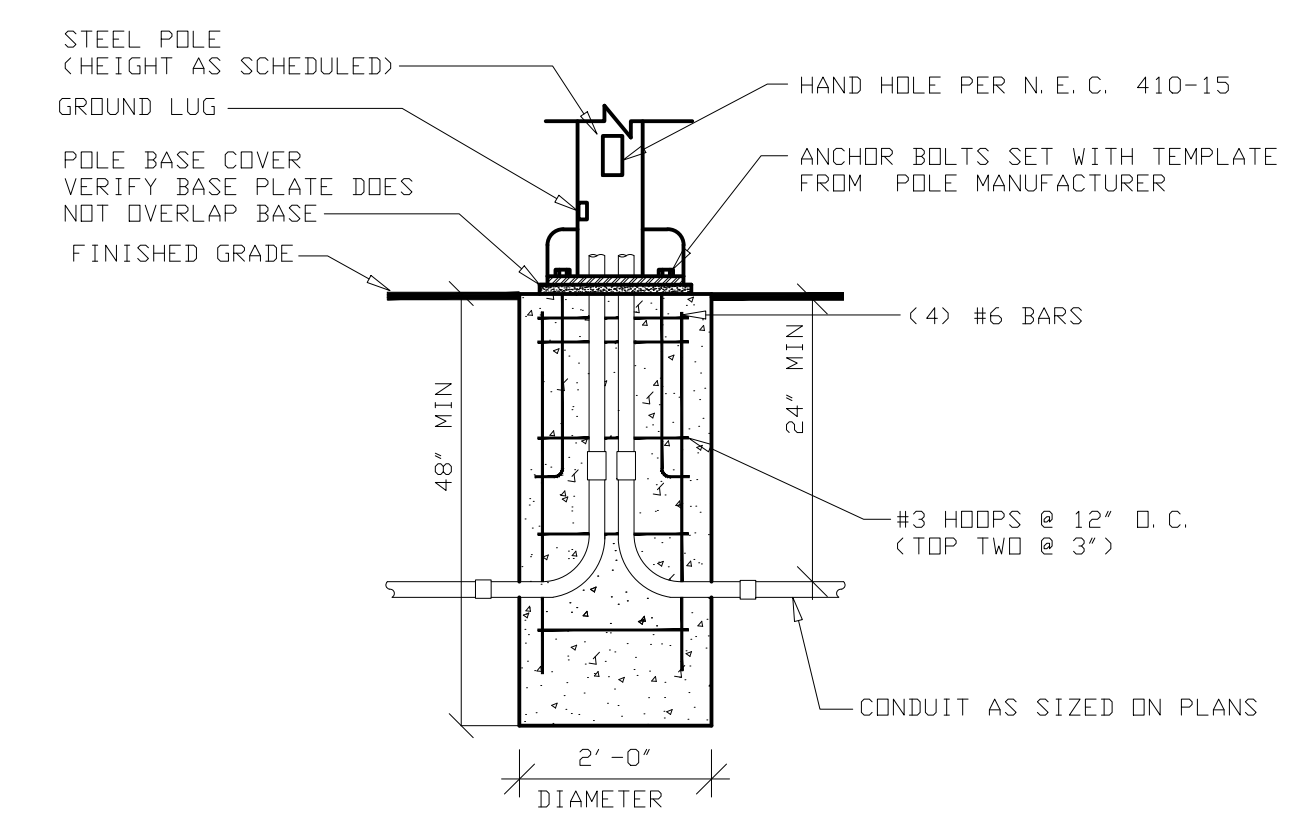
Project Number  
15057.00

SITE LIGHTING SCHEDULE ALL EQUIPMENT TO BE LSI INDUSTRIES.			
	TYPE A	TYPE B	TYPE C
BRACKET			KING KA-15-T-1 ARM
NO. FIXTURES PER POLE	2	1	1
FIXTURE CAT. NUMBER	LEDTEK: AR13-48N-MV-NW-5-XX-080	LEDTEK: AR13-48N-MV-NW-3-XX-080	KING LUMINAIRE: K828-P4FL-III-60W-4K
FIXTURE DIST. TYPE	TYPE 5	TYPE 3	TYPE 3
POLE	WJM-SS400-1120-BLK-2 @ 180"	WJM-SS400-1120-BLK-1 @ 90"	KING-KM90-A-12-RE-BLACK

- NOTES:  
1. COORDINATE POLE DRILLING TO MATCH FIXTURE MOUNTING.  
2. PROVIDE ADAPTER AS REQUIRED FOR BRACKET TO FIXTURE CONNECTION.  
3. PROVIDE FULL ANCHOR BOLT COVER ON ALL POLES.



NOTE:  
SIZE, DEPTH & REINFORCING STEEL IN BASE TO BE DETERMINED BY GEO. TECH. & STRUCTURAL ENGINEER





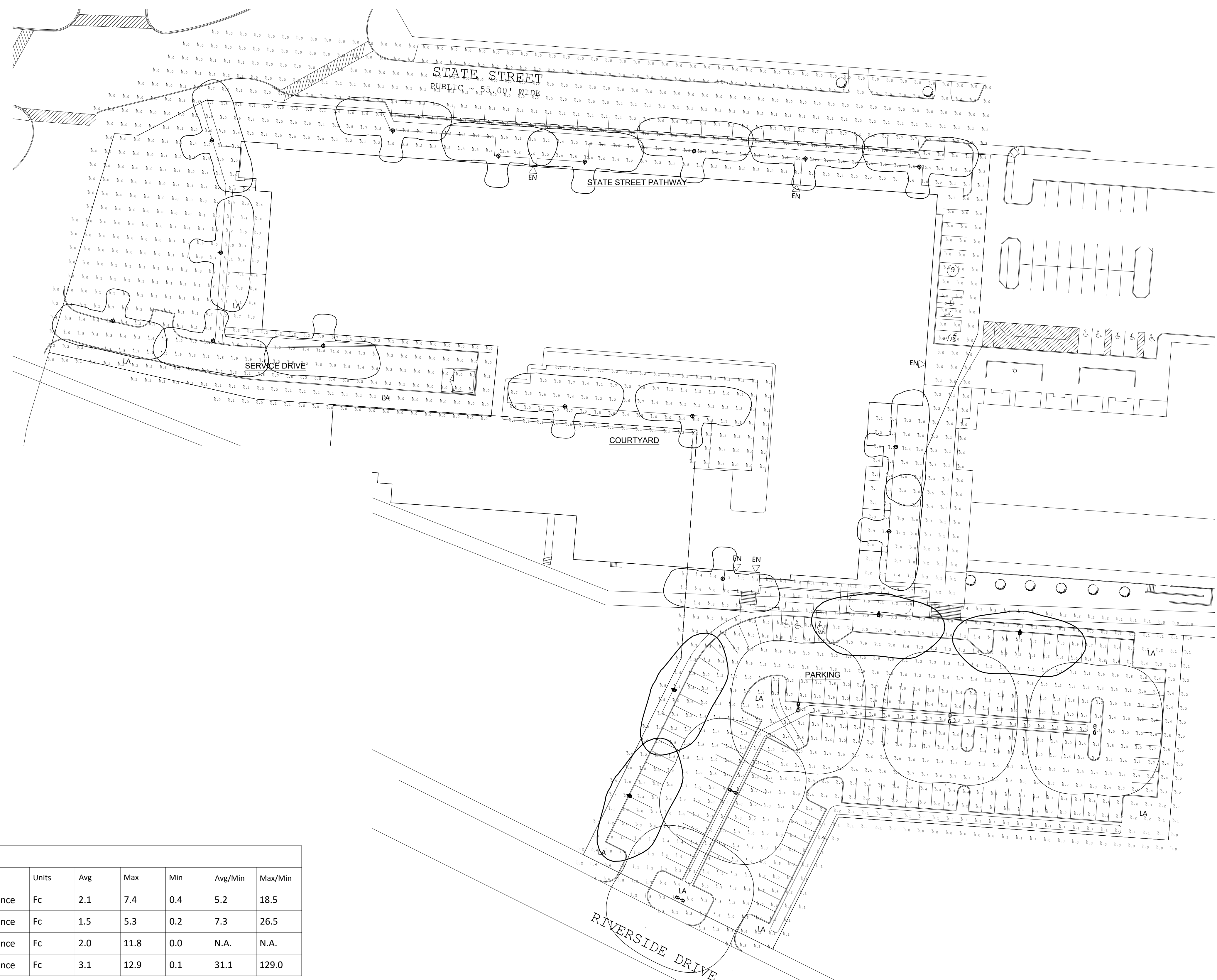
120 Front Street  
Suite 500  
Worcester, MA 01608  
508.752.1001

**EA** ENGINEERING ADVANTAGE, INC.  
880 MAIN STREET 5TH FLOOR  
WALTHAM, MASSACHUSETTS 02451  
PHONE: (617) 286-3969



APPROVED BY THE  
LUDLOW PLANNING BOARD

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
DATE: \_\_\_\_\_



Calculation Summary - Area							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Courtyard	Illuminance	Fc	2.1	7.4	0.4	5.2	18.5
Parking	Illuminance	Fc	1.5	5.3	0.2	7.3	26.5
Service Drive	Illuminance	Fc	2.0	11.8	0.0	N.A.	N.A.
State Street Pathway	Illuminance	Fc	3.1	12.9	0.1	31.1	129.0

Luminaire Schedule												
Symbol	Label	Qty	Description	Arrangement	IES Class	CCT	Arm	MH	LLF	Lumens	Watts	Filename
	Type A	5	Leotek: AR13-48N-MV-NW-5-XX-080	BACK-BACK	Type VS	4000K	1.5	20	0.900	7905	52.8126	AR13-48N-MV-NW-5-XX-080.ies
	Type B	4	Leotek: AR13-48N-MV-NW-3-XX-080	SINGLE	Type III	4000K	1.5	20	0.900	7941	52.8223	AR13-48N-MV-NW-3-XX-080.ies
	Type C	16	King Luminaire: K828-P4FL-III-60W-4K	SINGLE	Type III	4000K	2	12	0.900	7269	60.2	0800N4FL3X06040XXA.IES

### Mill #8 Adaptive Reuse

100 State Street  
Ludlow, Massachusetts

No.	Revision	Date	Apprv.

Designed by **LAF**      Checked by **LAF**  
Issued for **Local Approvals**      Date **November 12, 2020**

**Not for Construction**  
Drawing Title  
**Photometric Plan**

Drawing Number

**SE-2**

Sheet of

Project Number  
**15057.00**

Consultant:

APPROVED BY THE  
 LUDLOW PLANNING BOARD

DATE: \_\_\_\_\_

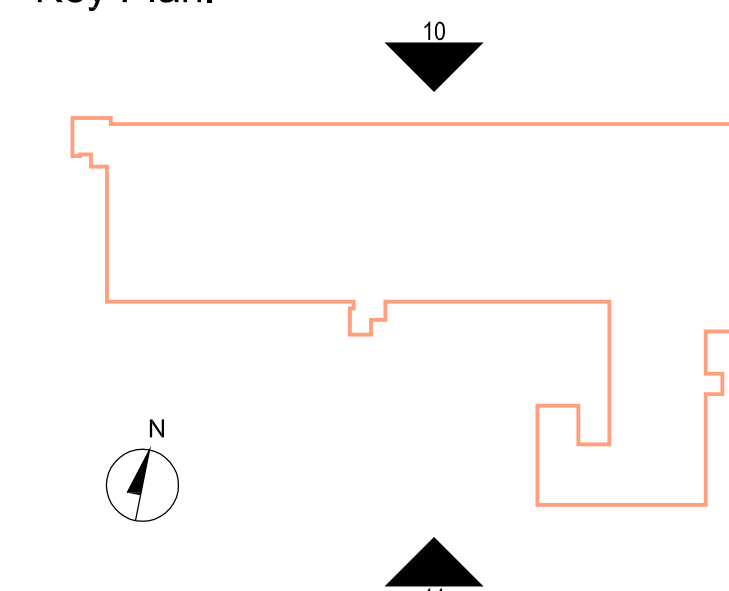
Architect of Record:

Drawn: S.M / D.G

Checked: S.M

Scale: 1/16" = 1'-0"

Key Plan:



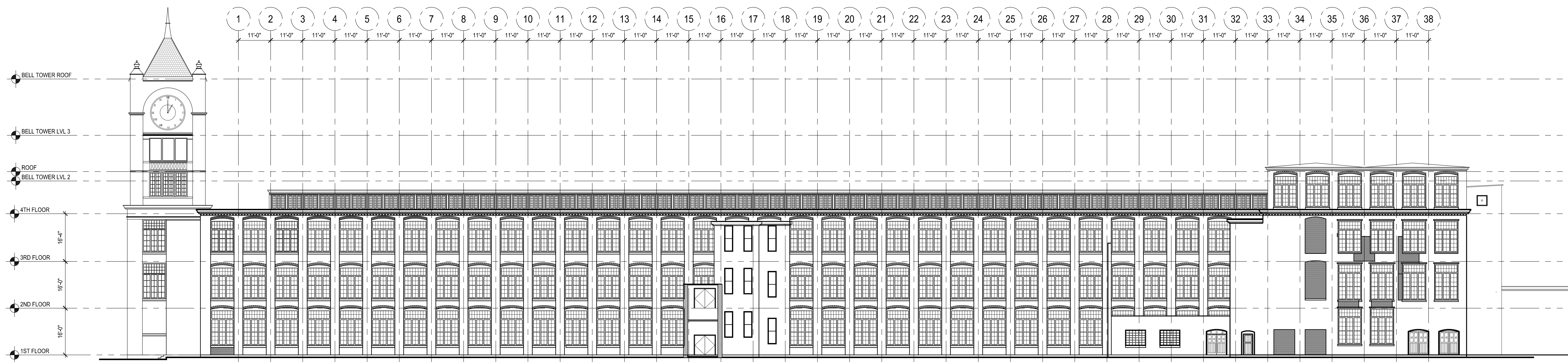
Project Name:  
**Ludlow Mill #08**

75 State Street  
 Ludlow MA

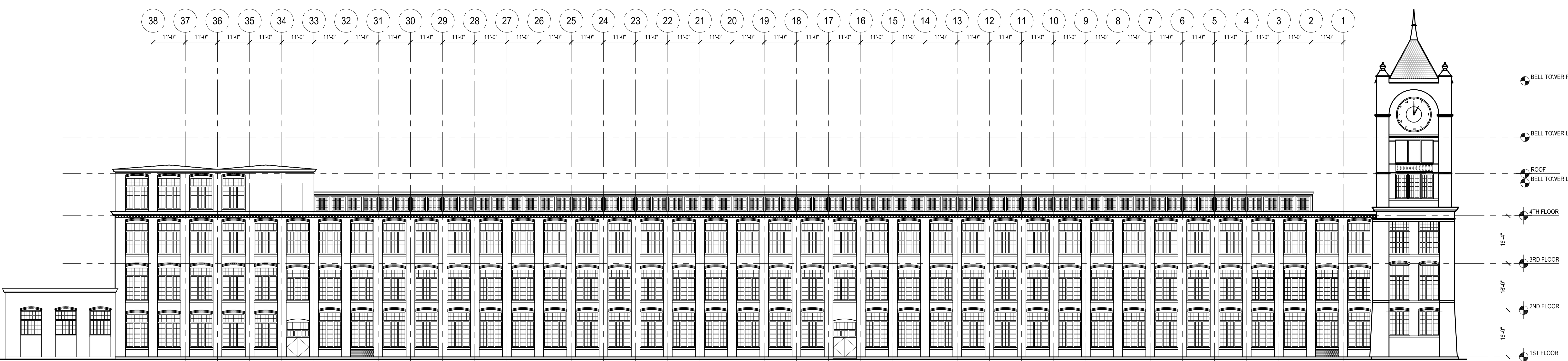
Sheet Name:  
**Proposed  
 Exterior Elevations**

Project Number:  
**16100**  
 Issue Date:  
**December 04, 2020**

Sheet Number:  
**A4.01**



11 SOUTH ELEVATION  
 SCALE: 1/16" = 1'-0"



10 NORTH ELEVATION  
 SCALE: 1/16" = 1'-0"

Consultant:

APPROVED BY THE  
 LUDLOW PLANNING BOARD

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 DATE: \_\_\_\_\_

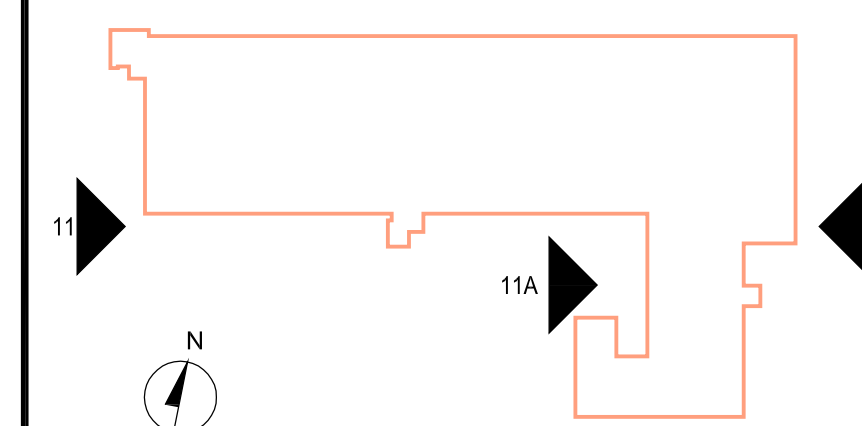
Architect of Record:

Drawn: S.M / D.G

Checked: S.M

Scale: 1/16" = 1'-0"

Key Plan:



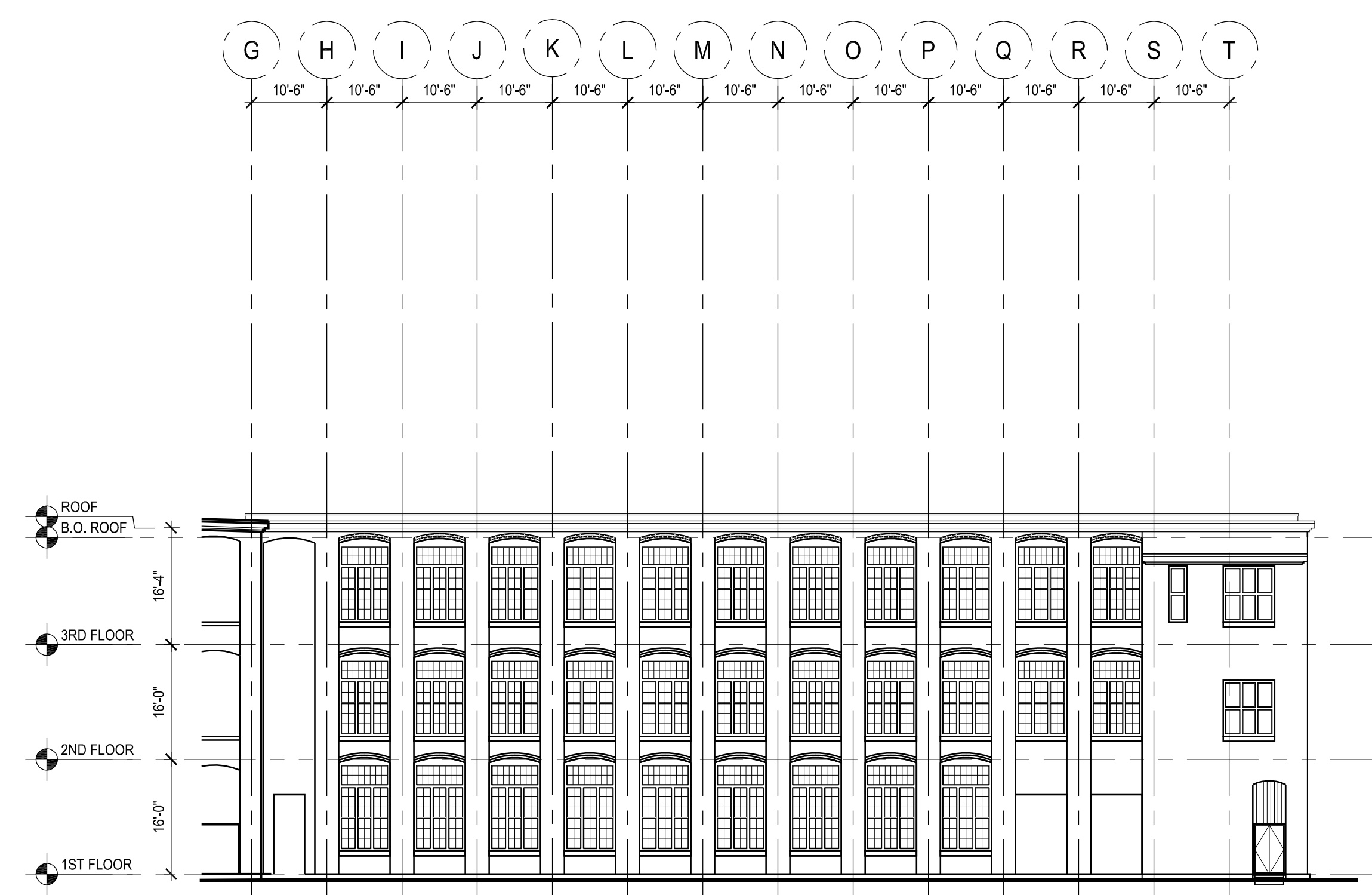
Project Name:  
**Ludlow Mill #08**

75 State Street  
 Ludlow MA

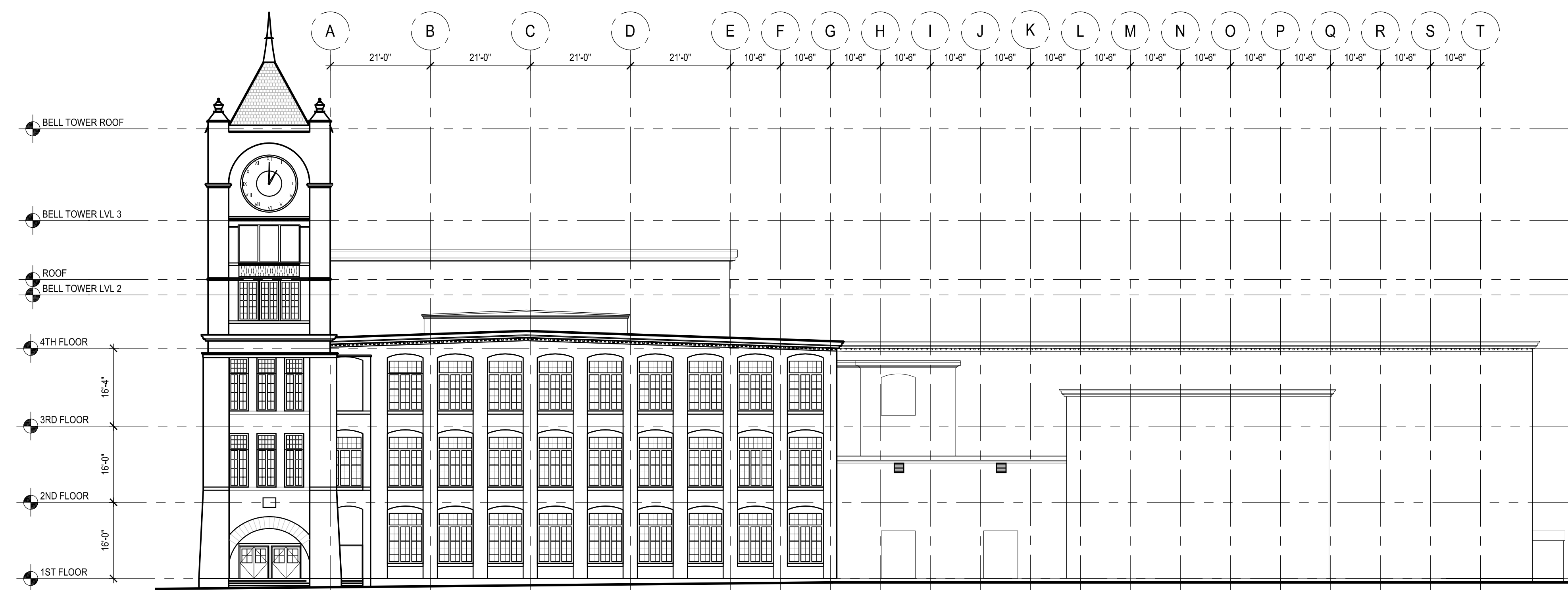
Sheet Name:  
**Proposed  
 Exterior Elevations**

Project Number:  
 16100  
 Issue Date:  
 December 04, 2020

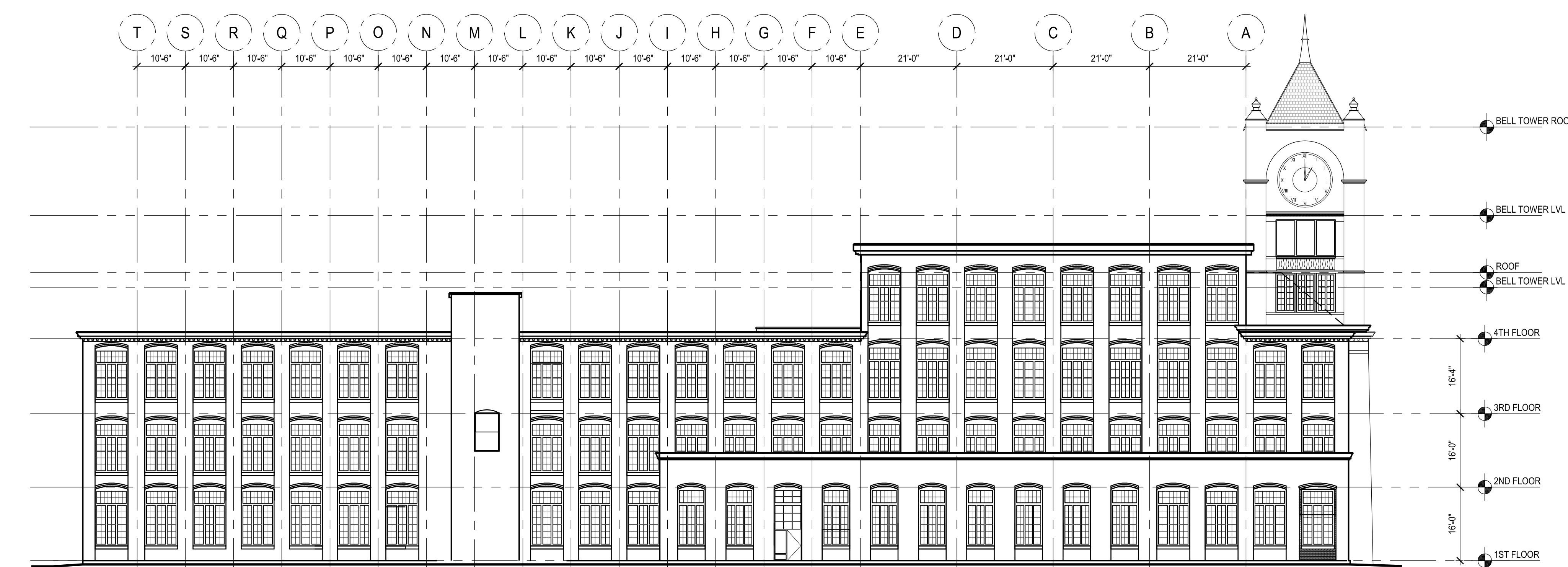
Sheet Number:  
**A4.02**



11a WEST ELEVATION  
 SCALE: 1/16" = 1'-0"



11 WEST ELEVATION  
 SCALE: 1/16" = 1'-0"



10 EAST ELEVATION  
 SCALE: 1/16" = 1'-0"